



Meeting: **Plan Commission**
Place: 1293 Washington Ave., Cedarburg
Date/Time: February 18, 2026 / 7:00PM*
Web Page: www.townofcedarburgwi.gov
Posted: February 13, 2026
*This meeting is also available remotely online. For remote access, email sjacoby@townofcedarburgwi.gov for information.

Chairman	David Salvaggio	Administrator	Eric Ryer
Plan Commissioner	Kerry Carmichael	Town Attorney	Brad Hoeft
Presiding Commissioner	Don Borgwardt	Director of Public Works	Adam Monticelli
Plan Commissioner	Tom Gaertig	Director of Parks & Recreation	Paul Jungbauer
Plan Commissioner	Larry Lechner	Town Treasurer	Katie LeBlanc
Plan Commissioner	Steve Wolf	Consulting Planners	Barrows / Cedar Corp.
Plan Commissioner	Anne Lewandowski	Asst. Administrator/Clerk	Sara Jacoby

1. CALL TO ORDER/PLEDGE OF ALLEGIANCE

2. MINUTES OF PREVIOUS MEETINGS

- a. Approval of December 17, 2025 Plan Commission Meeting Minutes*

3. PUBLIC HEARING

- a. None

4. OLD BUSINESS

- a. None

5. NEW BUSINESS

- a. Discussion and feedback regarding a concept plan for a major land division by EBL Joint Venture (Don Levy) for property with tax key #030050300200 **[Owner: EBL, NE ¼ Sec. 5, 24.67 acres, zoned A-1 Agricultural & C-1 Conservancy]***
- b. Discussion and possible recommendation on an Ordinance to rezone approximately 24 acres related to a concept plan for a major land division by ELB Joint Venture (Don Levy) for property with tax key #030050300200 from A-1 Agricultural to E-1 Estate, and leaving C-1 lands unchanged **[Owner: EBL, NE ¼ Sec. 5, 24.67 acres, zoned A-1 Agricultural & C-1 Conservancy]***
- c. Discussion and possible recommendation on an architectural and site plan review for a proposed 4,480 square foot, new construction accessory structure at 156 Green Bay Road, in the Hamilton Historic District **[Applicant: Ryan & Lyzz Sberna, 9.85 acres, zoned E-1 Estate and C-1 Conservancy, SE ¼ Sec. 35]***
- d. Discussion and direction to staff on updating the Town's ordinance and process pertaining to temporary and off-premises signage*

6. ADJOURNMENT

*At the Plan Commission's discretion, the Commission may take comment from the public

Note: A quorum of Town Board of Supervisors may be present at this meeting for the purpose of gathering information and possible discussion on items listed on this agenda. However, unless otherwise noted in this agenda, no official action by the Town Board will be taken at this meeting.

**TOWN OF CEDARBURG
PLAN COMMISSION MEETING MINUTES
December 17, 2025**

Present: David Salvaggio, Larry Lechner, Don Borgwardt, Kerry Carmichael, Tom Gaertig, Anne Lewandowski, Steve Wolf
Also Present: Eric Ryer, Administrator, Sara Jacoby, Assistant Administrator/Clerk, Adam Monticelli, Director of Public Works, Troy Hartjes, Consulting Engineer, Amy Barrows, Consulting Planner, Brad Hoeft, Town Attorney

1. CALL TO ORDER/PLEDGE OF ALLEGIANCE

Presiding Commissioner Borgwardt called the meeting to order at 7:00 pm. The meeting began with the pledge of allegiance followed by a statement detailing the meeting process and expectations.

2. MINUTES OF PREVIOUS MEETINGS

a. Approval of November 19, 2025 Plan Commission Meeting Minutes*

Commissioner Gaertig made a motion to approve the meeting minutes from November 19th. The motion was seconded by Commissioner Wolf and carried unanimously.

3. PUBLIC HEARING

a. None

4. OLD BUSINESS

a. Discussion and possible recommendation on an Ordinance to rezone three parcels with tax key number 03-010-09-002.00, 03-010-08-002.00, 03-010-08-001.00 from A-1 Agricultural and A-2 Prime Agricultural to E-1 Estate (leaving C-1 lands unchanged) [Petitioner: Michael and Stacy Gauthier, NW & SW ¼ Sec. 10]*

The Gauthier's are requesting to combine five (5) of their existing parcels to create a 132.39-acre singular parcel for the construction of a pond, consistent zoning across all parcels is first required. The applicant is seeking to rezone three of the parcels from A-1 and A-2 to E-1. The E-1 District provides for single-family dwellings as a principal use, and also allows for noncommercial, man-made recreation or wildlife ponds as an accessory use with a special permit.

Planner Barrows briefly summarized the status of the application process since the last time the Plan Commission considered these items. She noted the Town Board held public hearings on the rezone and pond permit application, and sent all three items back to Plan Commission. She also clarified that the A-2 district requires certain findings when contemplating a rezone out of the A-2 district per Section 320-130 and read them as listed below:

No change in the A-2 Prime Agricultural District shall be recommended unless the Plan Commission finds that:

- (a) Adequate facilities in accordance with all Town requirements and ordinances exist or will be provided within a reasonable time.
- (b) The land proposed for rezoning is suitable for development, and development will not result in undue water and air pollution, cause unreasonable soil erosion or have an unreasonably adverse effect on rare or irreplaceable natural resources.
- (c) Provision of public facilities to accommodate development will not place an unreasonable burden on the ability of affected local units of government to provide them.

Planner Barrows noted that three parcels in total must be rezoned to provide consistent E-1 zoning before the parcels could be combined as sought in item #4b. One parcel (03-010-08-001.00) is being sought to rezone out of A-2.

Attorney Hoeft noted that Section 320-12(C). provides additional findings criteria as noted:

In order for prime agricultural land to be rezoned for residential development, the Plan Commission must find that:

- (1) Adequate facilities in accordance with all Town requirements and ordinances exist or will be provided within a reasonable period of time; and
- (2) The land proposed for rezoning is suitable for development, and development will not result in undue water and air pollution, cause unreasonable soil erosion, or have an unreasonably adverse effect on rare or irreplaceable natural resources.

Attorney Hoeft noted it would be appropriate for a motion to be made to reconsider this item since an advisory recommendation had been made at a prior meeting. A motion should be made by a Commissioner who voted in favor of the conditional approval, with any other Commissioner making a second.

Presiding Commissioner Borgwardt made a motion to reconsider the prior recommendation of the Plan Commission of its advisory conditional approval of the rezoning petition. The motion was seconded by Commissioner Carmichael.

Presiding Commissioner Borgwardt cited Section 320-130, noting no change in the A-2 Prime Agricultural District shall be recommended unless the Plan Commission finds that:

- (a) Adequate facilities in accordance with all Town requirements and ordinances exist or will be provided within a reasonable time.
- (b) The land proposed for rezoning is suitable for development, and development will not result in undue water and air pollution, cause unreasonable soil erosion or have an unreasonably adverse effect on rare or irreplaceable natural resources.
- (c) Provision of public facilities to accommodate development will not place an unreasonable burden on the ability of affected local units of government to provide them.

Attorney Hoeft sought clarification on the motion on the floor regarding the prior recommendation of the Plan Commission of its advisory conditional approval of the rezoning petition. Presiding Commissioner Borgwardt called the vote, and it carried unanimously.

Commissioner Lewandowski noted one of the findings states, “development will not result in undue water and air pollution, cause unreasonable soil erosion,” noting the pond being proposed in relation to the rezoning could cause those issues, creating consequences for area wells and the creek.

Attorney Rick Donner, representing the applicants, opined the Town ordinance is in place to protect municipalities in instances of large developments. He noted E-1 is being sought since the proposed project is for a pond and residence. He stated the pond would not be located on the parcel currently zoned A-2. He stated the Town should be considering the design, construction and maintenance of the pond.

Attorney Hoeft reminded the Commission the rezoning is the item being currently considered, citing findings in Section 320-130, and that the Commission should apply the standards to the development project as a whole.

Emily Blum of Miller Engineers and Scientists, engineer for the applicants, restated Section 320-130(b), noting the pond would not increase air or water pollution, as they are lining the pond with a natural clay liner to limit leakage. They have measures in place to minimize erosion, noting agricultural fields have worse erosion impacts. They will revegetate the areas with natural plantings to reduce erosion.

Commissioner Lewandowski noted the Town has a number of irreplaceable natural resources, one of them being Cedar Creek. The pumping of the creek could stress, damage and degrade the creek, and is a standard that must be considered. She noted the creek is there for the benefit of the entire community.

Attorney Donner discussed the filling of the pond. He noted WDNR has issued a permit for a high-capacity well to fill the pond. An alternative is a combination of pumping from Cedar Creek and using a conventional well. Both options are still being discussed with WDNR. He noted the applicants could use the high-capacity well since that has already been approved. He said WDNR said they still need additional information, as WDNR has jurisdiction over the creek.

Attorney Hoeft brought the Commission back to the rezoning agenda item topic. He noted rezoning is a legislative decision, and the Commission must make any motion based on findings as noted in the Town Code.

Presiding Commissioner Borgwardt made a motion to recommend denial of the rezoning based upon that all of the required standards in Section 320-130 and Sec. 320-12 C., of the Zoning Code have not been found to allow for a change in the A-2 Prime Agricultural District and to rezone prime agricultural for residential development. Commissioner Lewandowski seconded the motion, and the motion passed 6-1 with Commissioner Gaertig voting nay.

b. Discussion and possible recommendation on a Certified Survey Map consisting of five existing parcels totaling 132.39 acres owned by various Gauthier, LLCs in order combine parcels for the purpose of constructing a pond [Petitioner: Michael and Stacy Gauthier, NW & SW ¼ Sec. 10]*

Presiding Commissioner Borgwardt made a motion to reconsider the prior recommendation of the Plan Commission of its advisory conditional approval of the Certified Survey Map consisting of five existing parcels totaling 132.39 acres in order to combine parcels for the purpose of constructing a pond. The motion was seconded by Commissioner Lewandowski and carried unanimously.

Planner Barrows noted the purpose of the CSM is land combination, with the Town policy to have lands be uniformly zoned if a combination is sought. She noted without a rezoning approval, there may not be a purpose to the CSM.

Attorney Donner concurred with Planner Barrows in that the purpose of the rezoning is to allow for a CSM to combine all of the lands proposed.

Presiding Commissioner Borgwardt made a motion to recommend denial of the Certified Survey Map based upon the Plan Commission's most recent recommended denial of the rezoning petition to the Town Board. The motion was seconded by Commissioner Lewandowski and the motion passed 6-0-1 with Commissioner Gaertig abstaining.

c. Discussion and possible recommendation on an application to construct a 13.2-acre pond on parcels to be combined by a CSM and Joinder deed restriction agreement [Petitioner: Michael and Stacy Gauthier, NW & SW ¼ Sec. 10]*

Attorney Hoeft reminded the Commission that the pond permit application was sent by motion to the Town Board so the public hearing could be held, with comments and the item returning back to Plan Commission for further consideration. Unlike the prior two applications, there was no prior advisory recommendation for action by the Commission on the pond permit, so there is no requirement for a motion to reconsider a prior recommendation for this item.

Planner Barrows noted that the pond ordinance limits ponds to 10% of a lot area, and without approvals for a rezoning and CSM, there is not adequate lands for the proposed pond.

Attorney Hoeft noted the Plan Commission is responsible for recommendations. He explained the pond permit application is a quasi-judicial function for the Commission, which was outlined in a scope-of-review memo from the applicant's Attorney Rick Donner, and has been provided to the Commission for their review. Attorney Hoeft concurred with the comments in Attorney Donner's letter, and it is appropriate for discussion on this item.

Commissioner Lechner noted there was no letter in the packet from WDNR with comment on the pond, other than a general email. Attorney Donner noted the applicants have a permit for a high-capacity well. Commissioner Lechner stated the Town should have some type of letter from WDNR regarding the pond and drawing water from the creek. He also remarked that he is not comfortable with the proposed Joinder agreement.

Planner Barrows noted Attorney Donner stated the applicants have a WDNR permit for a high-capacity well, however, the current application materials do not call out that the high-capacity well would be used, rather the current application indicates that filling of the pond would be done with a combination of diversion from Cedar Creek and a private conventional well. She believes that if the method of filling the pond changes, it could be a change to the application, as the Town review has been based upon the current application materials using the creek withdrawal and private conventional well.

Commissioner Gaertig asked for clarification on the timeline for filling the pond. He noted the applicant did take Plan Commission comment into account and increased the time period for filling of the pond out to 8-9 months.

Attorney Donner respectfully disagreed with Planner Barrows comments on a change in water source for filling constituting a change in application. He asserted that the Town has jurisdiction over the design, construction and maintenance of the pond and that the DNR has jurisdiction over how the pond is filled. Accordingly, he does not believe that a change to the method of filling would require an amendment to the application. He also noted the applicants would need to acquire a NOI permit from WDNR, which is a stormwater general permit.

Presiding Commissioner Borgwardt made a motion to recommend denial of the Pond Application to the Town Board based upon the following reasons:

- a. The Plan Commission's most recent recommended denial of the rezoning petition for the subject three parcels to the Town Board.
- b. The Plan Commission's most recent recommended denial to the Town Board of the CSM consisting of five existing parcels to be combined for the purpose of constructing the proposed pond.
- c. The current mixed zoning of the subject parcels and the current five existing separate parcels do not meet the standards for the proposed pond of not occupying more than 10% of the total lot area of each Lot under Sec. 320-118-B.
- d. There is no existing single-family dwelling within the proposed pond area that is required for a pond permit as special accessory use in a residential district.
- e. The proposed use of a joinder deed restriction to include a separate residential parcel with an existing dwelling that is outside of the actual pond parcel is not allowed under the Town's zoning ordinances.
- f. The lack of any written verification obtained by the applicant from the WDNR that the WDNR has sole jurisdiction over all water-related aspects of the Pond, including, without limitation, the initial filling of the Pond and the manner in which the water level will be maintained.
- g. The lack of any verification obtained by the applicant from the WDNR, or any other potential reviewing authority, that the engineering-related conditions of the proposed pond and/or any potential changes to the pond project by a reviewing authority will not impact the current design of the pond.

The motion was seconded by Commissioner Lewandowski and the motion carried 6-0-1 with Commissioner Gaertig abstaining.

5. NEW BUSINESS

a. None

6. ADJOURNMENT

Commissioner Lechner made a motion to adjourn the meeting at 7:51 pm. The motion was seconded by Commissioner Carmichael and carried unanimously.

Respectfully Submitted,

Sara Jacoby
Assistant Administrator/Clerk

DRAFT



Meeting Date: 2/18/26
Agenda Items: # 5a,b

PLAN COMMISSION MEETING MEMORANDUM

TO: David Salvaggio, Chairman
Plan Commission, Town Board

FROM: Ben Greenberg, Planner, Eric Ryer, Administrator

MEMO WRITTEN: January 14, 2026

SUBJECT: **Agenda Item # 5a:** Discussion and feedback regarding a concept plan for a major land division by EBL Joint Venture (Don Levy) for property with tax key #030050300200 [Owner: EBL, NE ¼ Sec. 5, 24.67 acres, zoned A-1 Agricultural & C-1 Conservancy]*
Agenda Item # 5b: Discussion and possible recommendation on an Ordinance to rezone approximately 24 acres related to a concept plan for a major land division by ELB Joint Venture (Don Levy) for property with tax key #030050300200 from A-1 Agricultural to E-1 Estate, and leaving C-1 lands unchanged [Owner: EBL, NE ¼ Sec. 5, 24.67 acres, zoned A-1 Agricultural & C-1 Conservancy]*

BACKGROUND INFORMATION

Project Name	Brandt Highlands Major Land Division & Rezone
Applicant Name	EBL Joint Venture (Don Levy)
Consulting Planner and/or Engineer	Accurate Surveying & Engineering LLP
Size of Parcel	24.67 acres
Existing Zoning	A-1 & C-1
Requested Zoning	E-1 and C-1
Abbreviated Legal	NE ¼ of Sec. 5
Future Land Use Map Designation	Rural Neighborhood – Countryside Allows: C-1, P-1, A-1, A-2, E-1, CR-A & CR-B, M-3

ADJACENT LAND USE/ZONING MATRIX

Direction	Land Use	Zoning
North	Agricultural, Conservancy	A-2, C-1
South	Agricultural, Conservancy	A-1, A-2, C-1
East	Agricultural, Conservancy	A-1, C-1
West	Residential, Conservancy	E-1, C-1

ZONING REQUIREMENTS	Applicable for Proposed Development	Existing Required	Applicable Required
	E-1	A-1	E-1
Minimum Lot Size	Ranging from 4.0 - 4.3 acres; concept only at this time	5 acres	4 acres per lot
Minimum Lot Width	Varies	300'	200' 75' cul de sac radius 120' curve
Min. Street Building Setback	-	100' outbuilding 75' home	75' home 100' section line road 125' outbuilding
Minimum Side Yard	-	100' outbuilding 25' home	40' home 40' outbuilding
Minimum Rear Yard	-	100' outbuilding 25' home	40' home 40' outbuilding

BACKGROUND

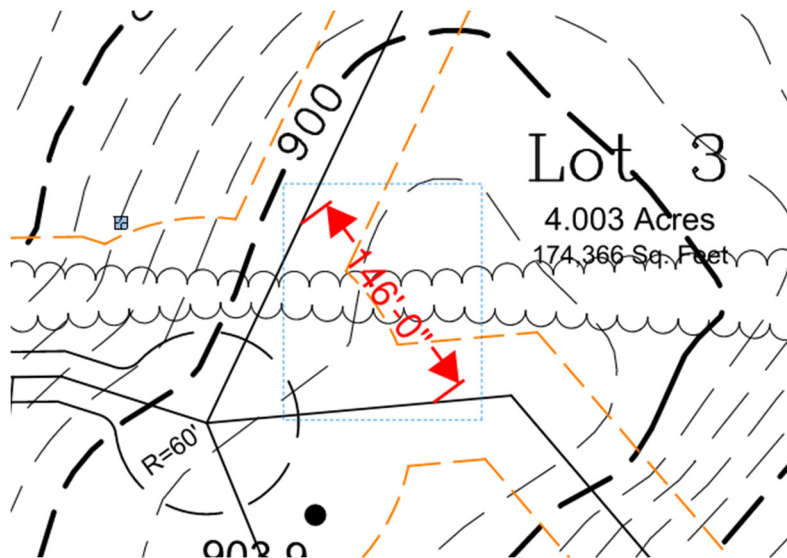
EBL Joint Venture (Don Levy) has submitted two applications at this time: 1) a concept application for a six lot major land division; 2) a rezoning application to rezone the property in question from A-1 Agricultural to E-1 Estate Residential, while leaving C-1 lands unchanged.

EXECUTIVE ANALYSIS

1. Zoning / Density / Open Space / Comprehensive Plan

The 24.67 acre property is currently zoned A-1 and C-1. The property has ~381 feet of frontage along Brandt Drive, a Town road, with approximately 292 feet of frontage along the private shared driveway that serves the Brandt Woods subdivision, also developed by Don Levy. Access to the subject development would be provided via a new private drive off of Brandt Drive. Under the attached concept plan, the property would transition from primarily agricultural/wooded use to single-family residential.

The concept plan shows six lots, ranging from 4-4.3 acres each. All of the proposed lots will meet the minimum 4-acre lot size of the E-1 district. For purposes of zoning compliance in Chapter 320, “lot width” is defined as the horizontal distance between the side lot lines measured at the required (75 foot) building setback line. The E-1 District requires a minimum lot width of 200 feet. Lots 1-2 and 4-6 appear to meet said requirement; However, Lot 3 appears to only provide approximately 146 feet of lot width (see image below). This could be addressed by the surveyor ahead of plat submittal.



The proposed lots are not expected to meet the district’s standard public street frontage requirements. However, pursuant to § 279-6D of the Town Zoning Code, lots that do not have frontage on a public street may be permitted where the Town Board has officially approved an alternative means of access, such as a shared driveway agreement, subject to any conditions imposed as part of that approval. The E-1 district does not have an open space requirement.

Currently, the property is designated as Rural Neighborhood-Countryside in the Comprehensive Plan, which allows E-1 zoning as an option for this property. There is a small area of primary environmental corridor on the far northwest corner of the lot. The Comprehensive Plan allows for residential development at an overall density of one dwelling unit per five acres of primary environmental corridor on upland portion of such lands (outside surface water and wetlands) and outside areas of steep slopes (slopes of 12 percent or greater). Comprehensive Plan mapping does not show this area as upland woods; it is likely a wet area.

2. **Access/Refuse & Recycling/Mailbox**

The subdivision provides an entrance off of Brandt Drive, forming a new cul de sac running directly to the east. The concept plan indicates a 33' wide shared driveway easement for a private driveway, whereas a typical ROW dedication is 66' wide for public roads. Refuse and recycling collection would be completed by a private contractor if the homeowners wish to have collection completed at the end of their individual driveways. An alternative would be a group collection area to be located at the terminus of the public portion of Brandt Drive; Brandt Woods subdivision opted for private collection. The issue of mail delivery and location of private versus group mailboxes has not been addressed as this is at the concept stage. Photos of the existing entrance and mailbox for Brandt Woods are attached.

3. **Shoreland Zoning / Wetlands / Floodplain / Onsite Sewage Disposal**

Water and sewer will be provided on each lot by private well and mound. Barry Sullivan at Ozaukee County Land and Water Management Department reviewed the concept plan and provided the following comments related to sewerage disposal and shoreland zoning:

"I have reviewed the proposed rezoning and proposed subdivision for this parcel. The property would be outside of County Shoreland Zoning. Although the current county interactive mapping shows a small floodplain area in the delineated wetlands in the northwest corner of the parcel, this is mapping of the floodplain is incorrect. The actual FEMA map for the area shows no floodplain in this area. I also noticed that no soil borings were conducted on this parcel. I would recommend that the Town makes it a condition of approval that soil testing be conducted on the parcel for each proposed lot to ensure suitable soils for powts are identified prior to final approval of the subdivision. This will all the property owner/agent to adjust the property lines prior to final subdivision approval if necessary. Otherwise, the department does not object to the rezoning or the proposed subdivision."

The applicant also met with Ozaukee County Planning and Parks. Andrew Struck indicated the proposed development will not require review by the Ozaukee County Natural Resources Committee for land division purposes. He submitted the following to the Town following their review:

"This email is to confirm our discussion at the pre-land division meeting for the Brandt Road Highlands land division, parcel 03-005-03-002.00, in the Town of Cedarburg prior to the holidays that this land division **will NOT require County land division review and approval**. As was discussed and determined at our meeting, the current shoreland zoning map indicated a portion of shoreland area on the Brandt Road Highlands parcel based on the landward extent of the floodplain; HOWEVER, this shoreland area was based on the old adopted floodplain maps and not the new floodplain maps (adopted in 2024, FEMA Flood Map eff. date 7-31-2024 shows no floodplain onto the parcel. It also has a cross section for AE zone of 861.5 NGVD88. The lowest elevation on this property is 4 feet above this number). The new floodplain maps show a smaller floodplain area that does NOT extend onto the parcel versus the old approximate floodplain that did extend onto the parcel. The shoreland area distance from the navigable water body does not in and of itself extend onto this parcel and the shoreland zoning area was just a function of the landward edge of the old approximate floodplain." Attached is a map from Andrew Struck for consideration.

The concept plan shows a wetland delineation that was conducted on November 7, 2025. The wetland study and any required DNR concurrence will be submitted to the Town Engineer with any future formal plat submittal. Additionally, the source of the wetland study shall be identified on future formal plat submittals. As always, any proposed wetland fill would require a County zoning approval/rezoning. The applicant would also need to work with other applicable agencies (WDNR, Army Corps of Engineers, SEWRPC etc.) for necessary permitting and submit permit copies, or correspondence indicating no permit is necessary to the Town.

4. Fire Department/Cistern

The concept plan was shared with the Cedarburg Fire Department, who did not express concerns with the concept plan. They will be supplied future submittal detailed engineering for review and comment at that time. Town code Section 320-10 requires that subdivisions with **8 or more lots** provide a cistern, **so that would not apply to this development.**

5. Stormwater & Erosion Control

Due to no outlot(s) being proposed, it is implied that stormwater management practices will occur on individual lots in the development. A stormwater and erosion control plan would need to be submitted along with the grading plan/preliminary plat and site plan as part of the full submittal package. Review of these documents would be completed by the Town contracted Engineer and Director of Public Works.

6. Subdivision Legal Documents

The developer would draft and submit legal instruments potentially including a declaration of restrictions, developer's agreement, bylaws, easement deed restrictions, private shared driveway agreement, and a stormwater maintenance agreement etc. It is the duty of the developer to properly record with the Register of Deeds and other applicable agencies. The Town Attorney, Engineer, and Director of Public Works would review these on behalf of the Town and advise on them.

7. State Approval

Town Code Section 184-6 requires State Department of Administration (WDOA) approval before final approval by the Town Board. Section 184-7 of the Town Code requires all public improvements to be installed, or a surety acceptable to the Town Board, to insure the land divider will make these public improvements. **At this point there are no proposed public improvements.**

STAFF COMMENT RELATED TO THE APPLICATION

Rezoning Application: The proposed zoning is consistent with the Comprehensive Plan.

Land Division Application: formal applications would bring the Town Planner, Town Engineer, Town Attorney (or other consultants) into the project for a staff level meeting following favorable concept review. The applicant is responsible for reimbursement of professional services per Town Code.

ACTION REQUESTED

Staff requests the Plan Commission review the concept plan materials and rezoning petition, and consider action via separate direction/motion:

Item #5a: Provide feedback on the proposed subdivision.

Item #5b: Consider a motion to recommend approval to the Town Board via the attached draft Ordinance. If in favor, the rezoning item would proceed to the Town Board.

ATTACHMENTS

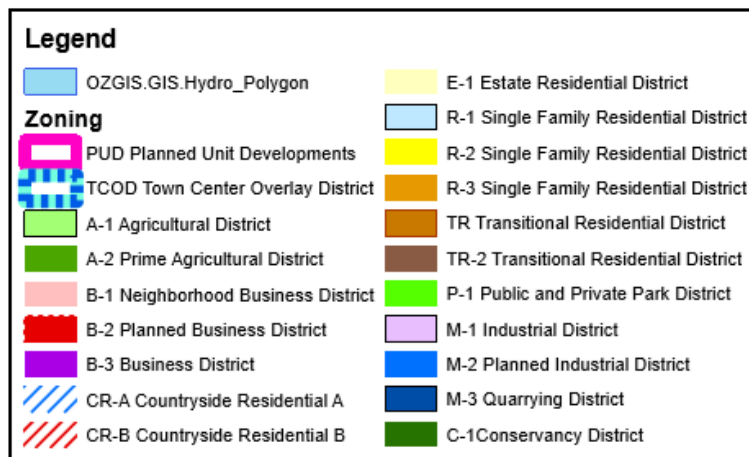
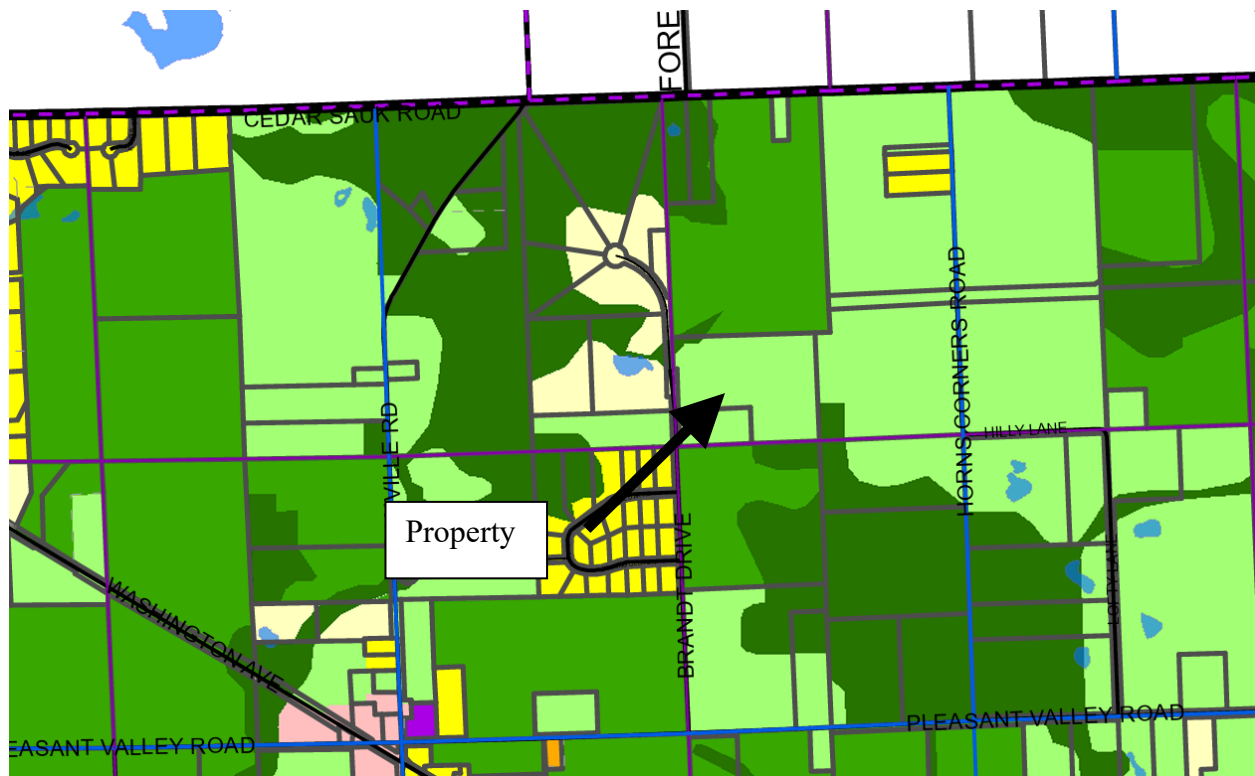
- I. Zoning Map/ Entrance Photos / Shoreland Map / County Map
- II. Applicant Materials
- III. Draft Rezoning Ordinance

COPIES MAILED/E-MAILED TO

- I. Don Levy: dlevy@levyandlevy.com
- II. Don Thoma: don@accuratesurveying.net
- III. Jeff Vahsholtz (CFD): jvahsholtz@cityofcedarburg.wi.gov
- IV. Andrew Struck (Oz. Co): ASTRUCK@ozaukeecounty.gov
- V. Barry Sullivan (Oz. Co.): bsullivan@ozaukeecounty.gov

Action	Date	Status
PC Concept Discussion & Rezone Consideration	2-18-2026	This Meeting
Rezone Public Notice News Graphic	2-17 & 2-24-26	Sent to News Graphic for publication dates at left
Rezone Post Cards within 1,000 feet	2-19-26	To Be Mailed
Plan Commission Meeting	-	-
Town Board Meeting & Public Hearing on Rezone	-	-
Plan Commission meeting for plat review & recommendation	-	-
Town Board meeting for plat	-	-
Plan Commission final plat	-	-
Town Board final plat	-	-

ATTACHMENT I.







Ozaukee County Shoreland Zoning



2/3/2026, 10:15:13 AM

- LOMA

Cross Sections

Shoreland and Floodplain Zoning Fill

FEMA Floodlines

AE - 100 year Floodplain with BFE

Shoreland and Floodplain Zoning

Wetlands Within Shoreland

Wetland Restoration
- Wetlands Regulated

Wetlands Open Water

Hydro Polygon

Hydro Polyline

PLSS Corners

Center of Section

Local Roads

Local
- Parcels

Road Reservation

Tax Parcel

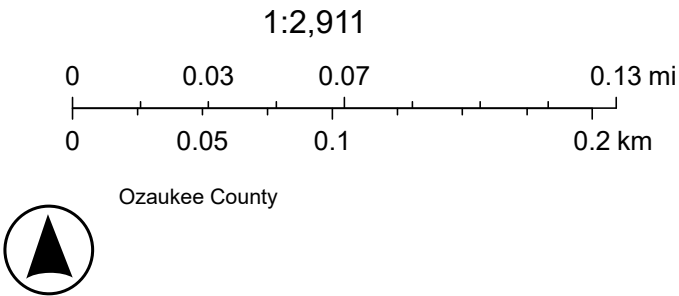
Building Footprints

PLSS Townships

PLSS Sections

PLSS Quarter Sections

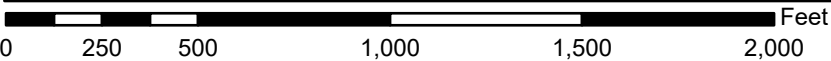
Control Survey Diagram



National Flood Hazard Layer FIRMette



88°2'24"W 43°21'44"N



1:6,000

88°1'46"W 43°21'18"N

Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
OTHER FEATURES		Levee, Dike, or Floodwall
		Cross Sections with 1% Annual Chance Water Surface Elevation
MAP PANELS		Coastal Transect
		Base Flood Elevation Line (BFE)
OTHER FEATURES		Limit of Study
		Jurisdiction Boundary
OTHER FEATURES		Coastal Transect Baseline
		Profile Baseline
OTHER FEATURES		Hydrographic Feature
		Digital Data Available
MAP PANELS		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **12/2/2025 at 9:12 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

**EBL JOINT VENTURE
N61 W6058 Columbia Road
Cedarburg, Wisconsin 53012
262-204-6246**

December 30, 2025

Town of Cedarburg
Town Administrator

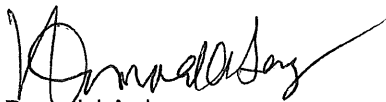
Hand Delivered

Dear Friends:

Enclosed please find two copies of the Application for Concept Plan Review with attachments as well as two copies of the Application for Rezoning Petition. Please submit to the Plan Commission. Please call with any questions.

Also enclosed is a check in the amount of \$400.00.

Very truly yours,

A handwritten signature in black ink, appearing to read "Donald A. Levy", with a long, sweeping horizontal stroke extending to the right.

Donald A. Levy

DAL/lp

Enclosures

Concept Plan / Rezoning Map
for
Brandt Highlands

Part of the SW 1/4 of the NE Fractional 1/4 of Section 5, Township 10 North, Range 21 East, Town of Cedarburg, Ozaukee County, Wisconsin.

Total Acres
24.474 Acres
Tax No. 03-005-03-002.00

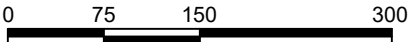
- indicates wetland soil test pit.

(r.a.) means "recorded as"

● - indicates 2" iron pipe found unless noted.

○ - indicates 1.3 od" x 18" iron pipe weighing 1.68 lbs/ft set.

Bearings are referenced to the Wisconsin State Plane Coordinate System Grid, South Zone (NAD 27). The west line of the NE Frac'l 1/4 of Sec. 5-10-21 has a grid bearing of N 02°25'09" W.



Scale in feet
1" = 150'

Owner/Subdivider

E.B.L. a joint venture
Donald Levy

Cedarburg, WI 53012
N61W6058 Columbia Road
Surveyor

Donald J. Thoma
Accurate Surveying &
Engineering LLP
2911 Wildlife Lane
Richfield, WI 53076
(262) 677-2120

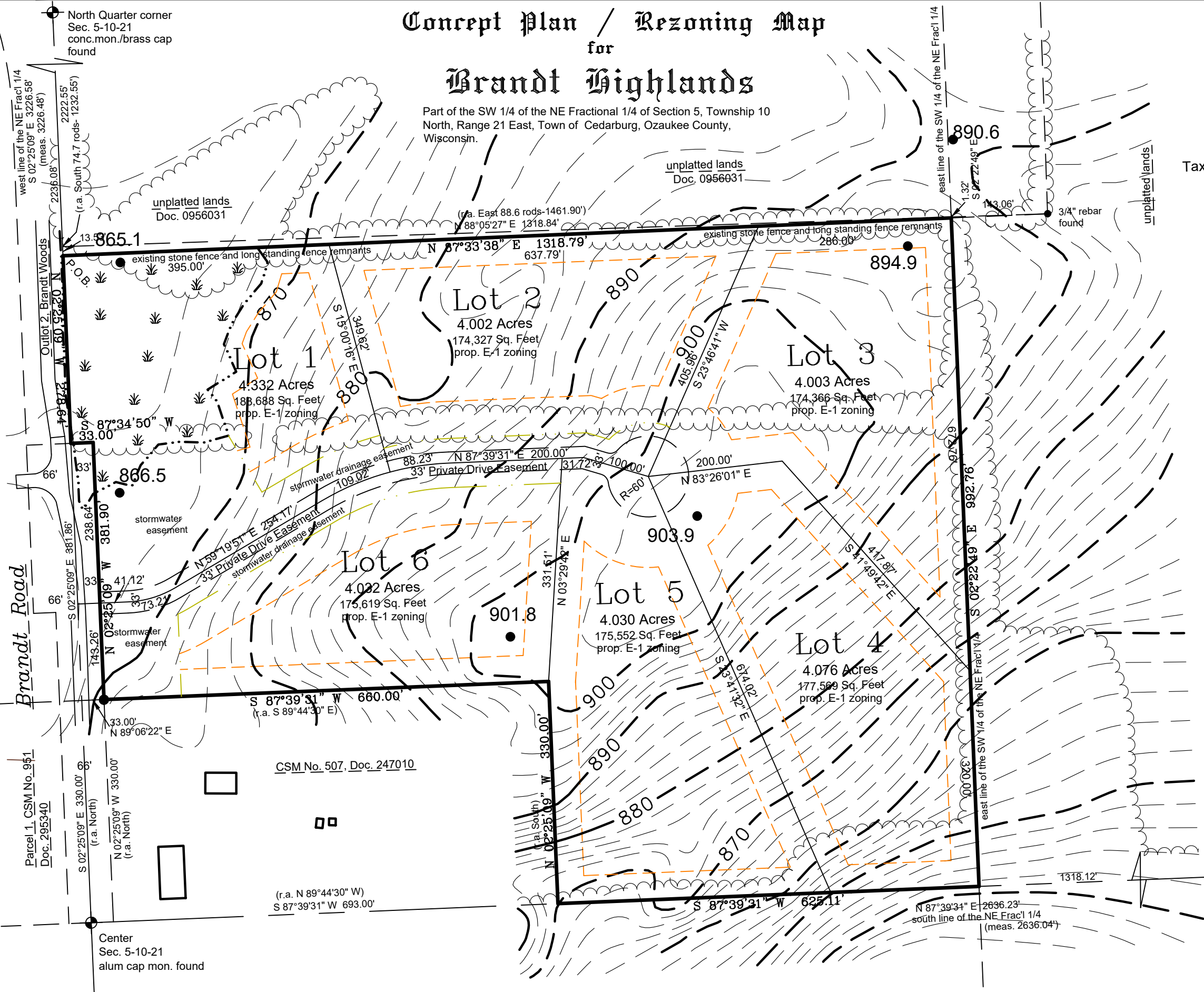
Elevation 861.5 Map No. 55089C0156G (ell. 7-31-2024)
All this property falls within FEMA Flood Zone X, per Flood

Accurate
Surveying & Engineering LLP

Land Surveying, Consulting, Developing

2911 Wildlife Lane
Richfield, WI 53076

262 677-2120
don@accuratesurveying.net



Concept Plan for Brant Road Highlands

Part of the SW 1/4 of the NE Fractional 1/4 of Section 5, Township 10
North, Range 21 East, Town of Cedarburg, Ozaukee County,
Wisconsin.

unplatted lands

unplatted lands

865.1

wetland delineation
11-07-2025

Lot 1
4.332 Acres
188,688 Sq. Feet

Lot 2
4.002 Acres
174,327 Sq. Feet

Lot 3
4.003 Acres
174,366 Sq. Feet

Lot 6
4.032 Acres
175,619 Sq. Feet

Lot 5
4.030 Acres
175,552 Sq. Feet

Lot 4
4.076 Acres
177,599 Sq. Feet

890.6

3/4" rebar
found

894.9

903.9

901.8

(r.a.) means "recorded as"

● - indicates 2" iron pipe found unless noted.

○ - indicates 1.3 od" x 18" iron pipe weighing 1.68 lbs/ft set

Bearings are referenced to the Wisconsin State
Plane Coordinate System Grid, South Zone
(NAD83). The west line of the NW Frac'l 1/4 of
Sec. 5-10-21 has a grid bearing of N 02°25'07" W.

0 75 150 300

Scale in feet
1" = 150'

Owner/Subdivider

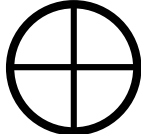
EBL Joint Venture
Donald Levy
N61W6058 Columbia Road
Cedarburg, WI 53012

Surveyor

Donald J. Thoma
Accurate Surveying &
Engineering LLP
2911 Wildlife Lane
Richfield, WI 53076
(262) 677-2120

E-1 zoning
min. building setbacks
Front - 75'
Side - 40'
Rear - 40'
wetlands - 25'

unplatted lands

Accurate 
Surveying & Engineering LLP

Land Surveying, Consulting, Developing

2911 Wildlife Lane
Richfield, WI 53076

262 677-2120
don@accuratesurveying.net

Center
Sec. 5-10-21
alum cap mon. found

CSM 507, Doc. 2477010

Brant Road

Outlet 2, Brant Woods

33' Private Drive

R=60'

East Quarter corner
Sec. 5-10-21
conc.mon./brass cap
found

**TOWN OF CEDARBURG, WISCONSIN
ORDINANCE NO. 2026-X**

An Ordinance to Rezone Land and Amend the Zoning Map for approximately 24 acres of land from A-1 Agricultural to E-1 Estate Residential for the property with Tax Key #030050300200, while leaving C-1 Conservancy lands unchanged, in the Town of Cedarburg, Ozaukee County, Wisconsin.

WHEREAS, the Town of Cedarburg Plan Commission, having previously reviewed all standards required to be considered by the Zoning Code of the Town of Cedarburg and after due deliberation, has recommended to the Town Board that approximately 24 acres of property with Tax Key #030050300200 be rezoned from A-1 Agricultural to E-1 Estate Residential, while leaving C-1 Conservancy lands unchanged, in the Town of Cedarburg, Ozaukee County, Wisconsin; and

WHEREAS, all notices of said proposed rezoning and public hearing thereon have been given as required by the Zoning Code and sec. 62.23(7)(d), Stats., and such public hearing was held before the Town Board of Supervisors on March 4, 2026; and

WHEREAS, the Town Board has determined that the rezoning of such property will promote the public health, safety, morals and general welfare of the community, and has made a motion that the zoning districts and Official Zoning Map of the Town of Cedarburg be amended to reflect the above-described zoning change,

NOW, THEREFORE, the Town Board of the Town of Cedarburg, Wisconsin, does ordain as follows:

1. Approximately 24 acres of property with Tax Key #030050300200 will be rezoned from A-1 Agricultural to E-1 Estate Residential, while leaving C-1 Conservancy lands unchanged, in the Town of Cedarburg, Ozaukee County, Wisconsin.
2. The zoning districts and Official Zoning Map of the Town of Cedarburg shall be amended to reflect the revised zoning designations.
3. This Ordinance shall become effective upon passage and posting as provided by law.

Passed and approved this 4th day of March, 2026.

David M. Salvaggio, Town Chairman

ATTEST:

Sara Jacoby
Assistant Administrator/Clerk

PLAN COMMISSION MEETING MEMORANDUM

TO: David Salvaggio, Chairman
Plan Commission, Town Board

FROM: Sara Jacoby, Assistant Administrator/Clerk

MEMO WRITTEN: February 6, 2026

SUBJECT: **Agenda Item # 5c:** Discussion and possible recommendation on an architectural and site plan review for a proposed 4,480 square foot, new construction accessory structure at 156 Green Bay Road, in the Hamilton Historic District [**Applicant: Ryan & Lyzz Sberna, 9.85 acres, zoned E-1 Estate and C-1 Conservancy, SE ¼ Sec. 35]***

BACKGROUND INFORMATION	
Project Name	Sberna Arch. & Site Plan Review
Applicant Name/Contact No.	Ryan Sberna - 414-350-0546
Size of Parcel	9.85 acres
Existing Zoning / Requested Zoning	E-1 & C-1 existing / No change requested
Abbreviated Legal	SE ¼ of Section 35
Future Land Use Map District	Historic District - Hamilton Allows for existing E-1 zoning

ADJACENT LAND USE/ZONING MATRIX		
<i>Direction</i>	<i>Land Use</i>	<i>Zoning</i>
North	Single-Family Residential & Conservancy	R-3 & C-1
South	Single-Family Residential & Conservancy	R-2, C-1
East	Single-Family Residential & Conservancy	R-2, C-1
West	Single-Family Residential, Conservancy & Agricultural	R-3, C-1, A-1

ZONING CONSISTENCY MATRIX		
	Required for Accessory	Provided
Zoning:	E-1	E-1
Minimum Lot Size	4 Acres	9.85 acres
Minimum Lot Width	200'	312.4'
Minimum Street Building Setback	125' for accessory	Several hundred feet
Minimum Side Yard Setback	40' for accessory	>100'
Minimum Rear Yard Setback	40' for accessory	~116'
Minimum Setback from House	10'	>50'
Maximum Height	35'	~23.5' at the roof ~30.25' at the cupola

BACKGROUND

The Sberna family has submitted an application for a new accessory structure for the property located at 156 Green Bay Road. The majority of the 9.85 acre property lies within the Hamilton Historic District (see the attached map). Assessment records show the property has a rebuilt house with an addition now totaling 8,046 square feet the original house (2,494 square feet) was built in 1880. The previous owners removed a dilapidated 3,000 square foot barn (40' x 75').

They would like to construct a 4,480 square foot accessory structure, including porch, to be located approximately at the site of the razed barn. Walters Buildings has provided exterior plans and elevations.

BACKGROUND

In preparation of this application, the Sbernas obtained approvals for rezoning of the property in June of 2025 (Ordinance 2025-3 attached) from R-2 Single Family Residential District to E-1 Estate Residential District. The approval followed the required public noticing and public hearing.

The Applicants are proposing a 4,480 square foot accessory structure. They note in their attached letter, their intent is to, “create a space that serves the family's modern needs and respects the property's historical integrity.” The building would be used for garage space and for an indoor play area for their three boys. The applicant wrote that the materials and colors will be, “black metal siding with a bronze roof,” with a stone building skirt that was added at the request of the Landmarks Commission. The attached elevations show appearance and colors, and door locations. The attached site plan shows the accessory structure location.

LANDMARKS REVIEW

§186-5 of the Town Code notes,

“Any application for a permit from the Building Inspector involving a designated landmark, landmark site, or improvement in an historic district shall be filed with the Commission.”

Included are applicant plans approved by the Landmarks Commission at their meeting on February 5th.

EXECUTIVE REVIEW

1. Zoning

The 9.85 acre parcel is zoned E-1 Estate District. The Comprehensive Plan designates the parcel as Residential Neighborhood – South, which allows E-1 zoning. Town Code states that any individual nonresidential building, being newly constructed, that is greater than 2,000 square feet shall be subject to architectural design approval and site plan approval by the Plan Commission and the Town Board.

2. Building Location

The building is proposed to be southeast of the existing home. The street yard for this property is along the western parcel boundary, with the proposed building location being compliant with all setback requirements for E-1 zoning as outlined in the Zoning Consistency Matrix on the previous page.

3. Shoreland Zoning & Sanitary

The project falls within County Shoreland Zoning. Per Barry Sullivan at Ozaukee County Land and Water Management Department, the property owner **will need to obtain a Shoreland Zoning Permit from that department** before the Town of Cedarburg can issue a Building Permit. Plumbing is proposed for the structure, so a Sanitary Permit will be required.

ACTION REQUESTED

Since the accessory building is greater than 2,000 square feet, it must go through an architectural and site plan review, as § 320-29. E-1 Estate District explains below. Ahead of this Plan Commission meeting, the owners of record in whole or in part as listed in the office of the Ozaukee County Register of Deeds and who are situated within 1,000 feet of the boundaries of the properties affected were sent a postcard notice postmarked at least 10 days prior to the date of consideration by the Plan Commission meeting.

“Any proposed construction of an outbuilding in the E-1 zoning district that is greater than 2,000 square feet shall be subject to architectural design and site plan approval by the Town Board, upon the review and recommendation by the Plan Commission, prior to any issuance of a building permit.”

Site plan review principles and standards. The Plan Commission and Town Board shall review the site, existing and proposed structures, neighboring uses, landscaping, and the proposed use. The Town Board may approve said site plans only after determining that:

- (a) The proposed use(s) conforms to the uses permitted.
- (b) The dimensional arrangement of buildings and structures conforms to the required area, yard, setback, and height restrictions of this chapter.
- (c) The proposed on-site buildings, structures, and entryways are situated and designed to minimize adverse effects upon owners and occupants of adjacent and surrounding properties by providing for adequate design of ingress/egress, interior/exterior traffic flow, stormwater drainage, erosion, grading, lighting, and parking, as specified by this chapter or any other codes or laws.
- (d) Consideration should be given to preserving the natural features of the landscape where they can enhance the development on the site, or where they furnish a barrier or buffer between the project and adjoining properties used for dissimilar purposes or where they assist in preserving the general safety, health, welfare, and appearance of the neighborhood.
- (e) Adverse effects of the proposed development and activities upon adjoining residents or owners are minimized by appropriate screening, fencing, or landscaping, as provided or required in this chapter.

Architectural review principles and standards. To assist the Plan Commission and Town Board in the architectural review of outbuildings under this section, the following review principles, criteria and procedures are established:

- (a) Building scale and mass. The relative proportion of a building to its neighboring existing buildings, to pedestrians or observers, or to other existing buildings shall be maintained or enhanced when new outbuildings are built or when existing outbuildings are remodeled or altered.
- (b) Building rooflines and roof shapes. Building roof lines and roof shapes shall be complementary to the existing or surrounding buildings.
- (c) Materials. No building shall be permitted where any exposed facade is constructed or faced with a finished material which is not aesthetically complementary to other surrounding buildings.
- (d) Building location. Consideration shall be given to siting a building in a manner which would not unnecessarily destroy or substantially damage the beauty of the area, particularly insofar as it would adversely affect values incident to ownership of land in the area or which would unnecessarily have an adverse effect on the beauty and general enjoyment of existing structures on adjoining properties.

PUBLIC NOTICE / ACTION REQUESTED

Town Code requires the 10-day notice as previously noted. Staff requests the Plan Commission consider a recommendation to the Town Board regarding the proposed outbuilding at 156 Green Bay Road, taking into account the **Site plan review principles and standards** above in their motion.

ATTACHMENTS

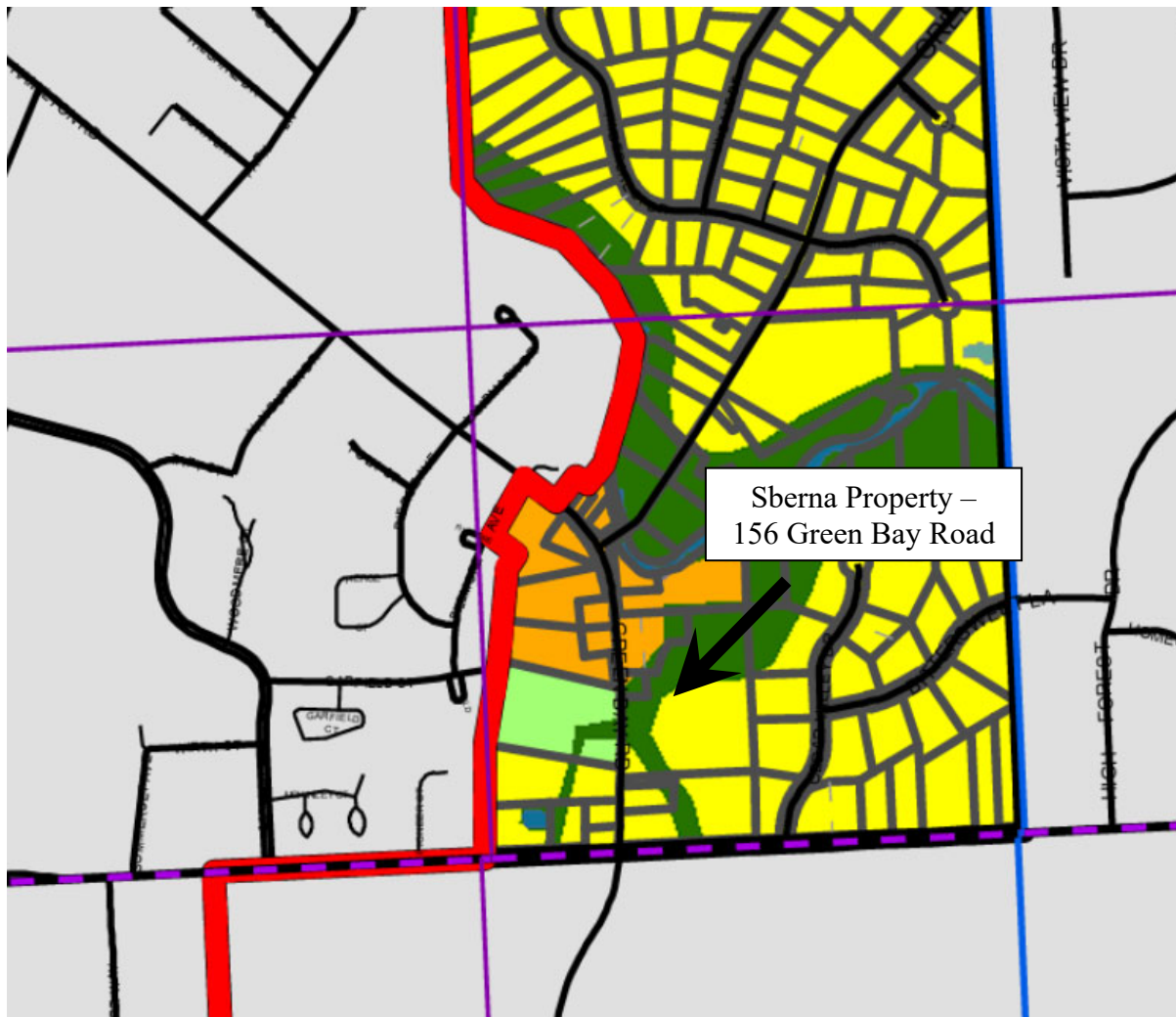
- I. Zoning Map / Hamilton Historic District Maps / GIS Map
- II. Shoreland Map, Zoning Chart, Ordinance 2025-3
- III. Applicant materials including site plan, elevations, floor plan

COPIES MAILED/E-MAILED TO

- I. Barry Sullivan: bsullivan@ozaukeecounty.gov
- II. Ryan Sberna: ryans@eepowersolutions.com
- III. Paul Mortimer: pmortimer@safebuilt.com

Action	Date	Status
Landmarks Commission meeting	2-5-2026	Approved
Notice to property owners within 1,000 feet of the boundaries	2-6-2026	Mailed
Architectural & Site Plan Review at Plan Commission meeting	2-18-26	This Meeting
Architectural Site Plan Review at Town Board meeting	-	-

ATTACHMENT I.

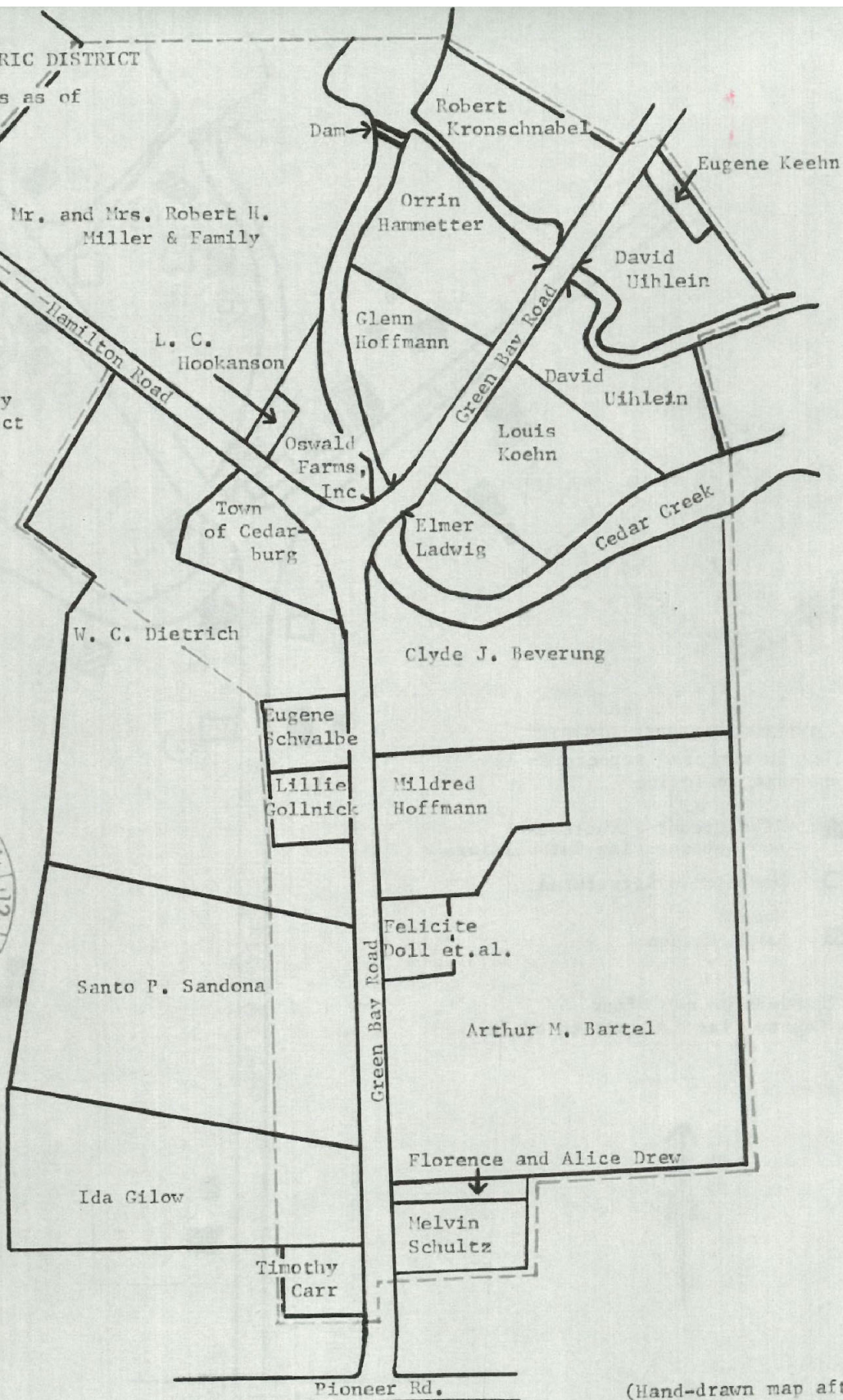
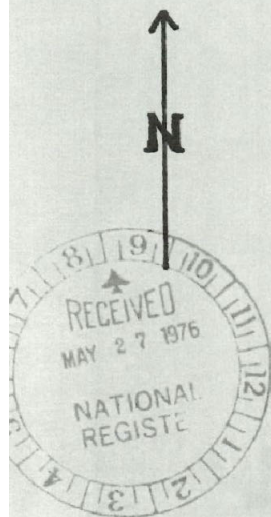


Legend	
	PUD Planned Unit Developments
	TCOD Town Center Overlay District
	A-1 Agricultural District
	A-2 Prime Agricultural District
	B-1 Neighborhood Business District
	B-2 Planned Business District
	B-3 Business District
	CR-A Countryside Residential A
	CR-B Countryside Residential B
	E-1 Estate Residential District
	R-1 Single Family Residential District
	R-2 Single Family Residential District
	R-3 Single Family Residential District
	TR Transitional Residential District
	TR-2 Transitional Residential District
	P-1 Public and Private Park District
	M-1 Industrial District
	M-2 Planned Industrial District
	M-3 Quarrying District
	C-1 Conservancy District

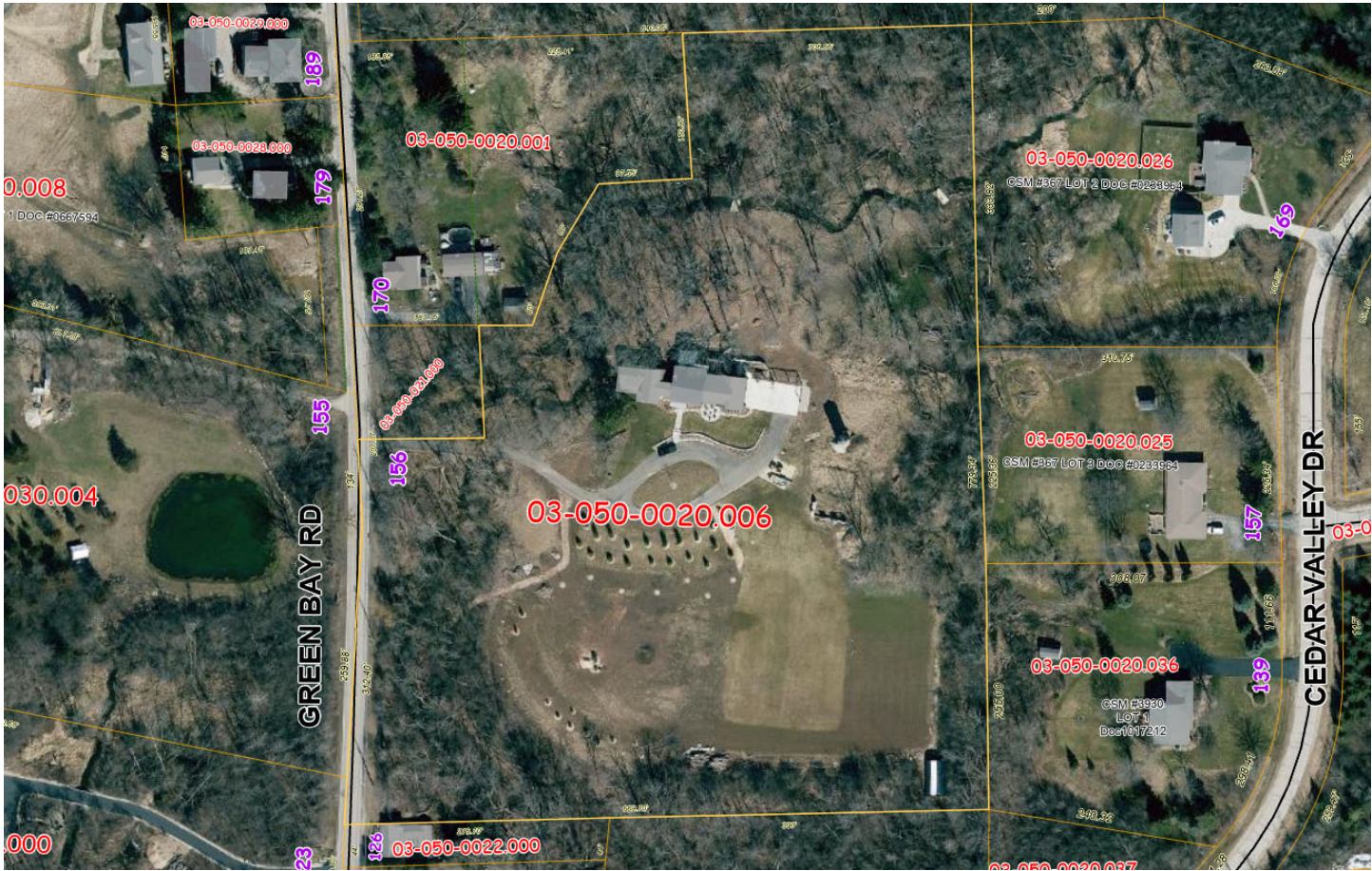
HAMILTON HISTORIC DISTRICT

Property Owners as of
April, 1976

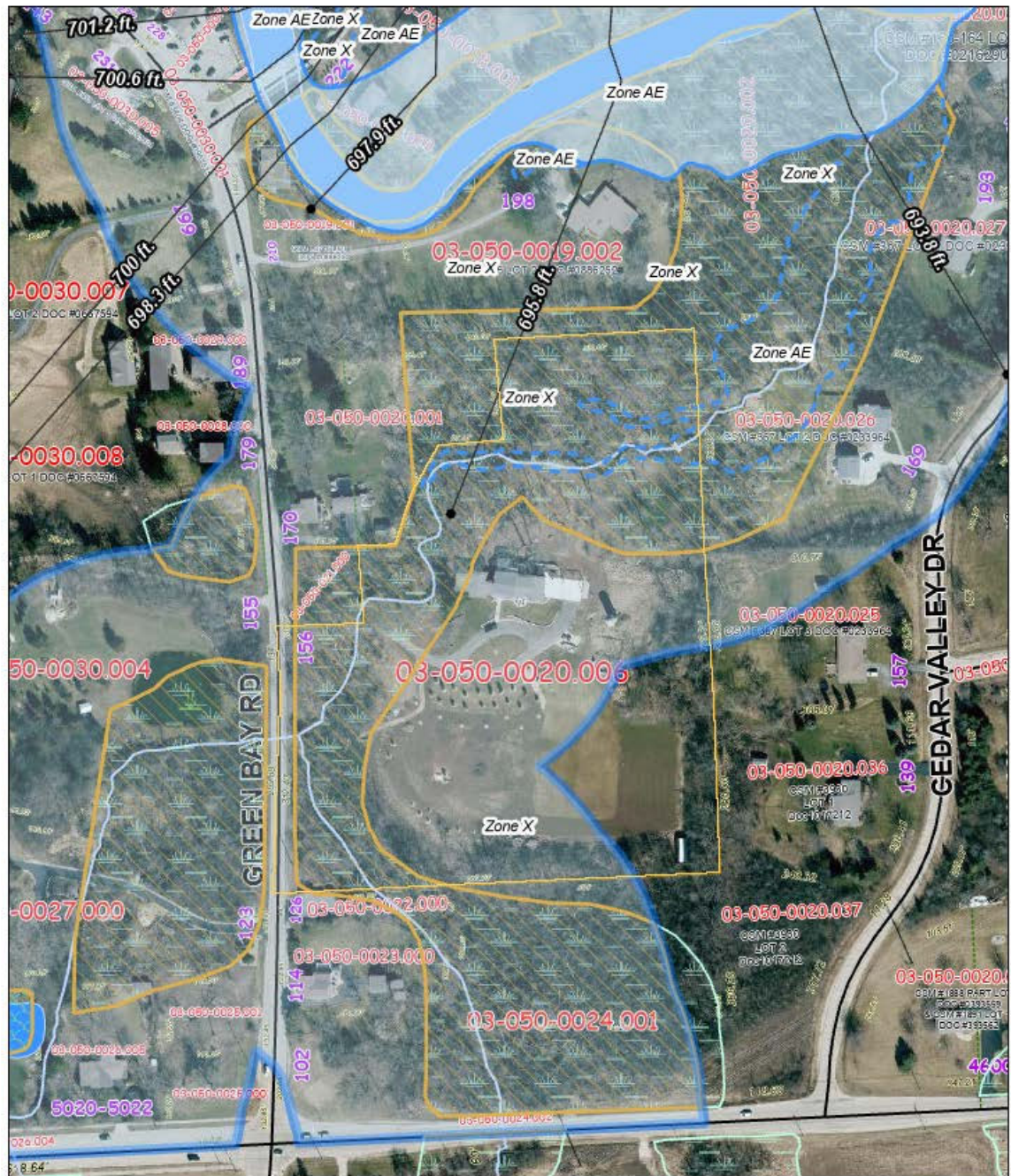
----- = Boundary
Line of District



(Hand-drawn map after
County Plat Map)

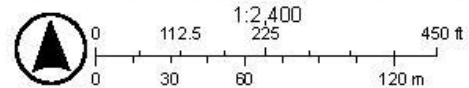


Ozaukee County Shoreland Zoning



1/15/2026, 9:52:07 AM

- Cross Sections
- Shoreland and Floodplain Zoning Fill
- FBMA Floodlines
- AE - 100 year Floodplain with BFE
- AE, Floodway
- Shoreland and Floodplain Zoning
- Wetlands Within Shoreland
- Wetland Regulated less than 1/4 ac
- Wetlands Regulated
- Wetlands Open Water
- Hydro Polygon
- Hydro Polyline
- Local Roads
- Local
- Historical Parcel Lines
- Parcels
- Tax Parcel
- Building Footprints
- PLSS Townships
- PLSS Sections
- PLSS Quarter Sections
- Control Survey Diagram



Ozaukee County

**TOWN OF CEDARBURG
LANDMARKS COMMISSION MEETING MINUTES
January 30, 2026**

Present: Kari Esser, Ray Pecor, Tim Rasmussen, Lance Schaefer, Eric Utz
Excused: Cecily Bishop
Absent: Carol Boettcher
Also Present: Sara Jacoby, Assistant Administrator/Clerk

1. CALL TO ORDER

Chairwoman Esser called the meeting to order at 5:02 p.m. Roll call vote: Chairwoman Esser present, Commissioner Bishop excused, Commissioner Boettcher absent, Commissioner Pecor present, Commissioner Rasmussen present, Commissioner Schaefer present, Commissioner Utz present.

2. MINUTES OF PREVIOUS MEETINGS

a. Approving of December 1, 2025 Landmarks Commission Meeting Minutes* *

Commissioner Schaefer made a motion to approve the minutes from the December 1, 2025, Landmarks Commission Meeting. Commissioner Rasmussen seconded, and the motion carried unanimously.

3. OLD BUSINESS

a. Discussion for the 2026 Landmarks Award.

Chairwoman Esser and Assistant Administrator/Clerk Jacoby provided status of Award applications received and an updated flyer.

4. NEW BUSINESS

a. Discussion and possible motion on a proposed 4,480 square foot, new construction accessory structure at 156 Green Bay Road, in the Hamilton Historic District [Applicant: Ryan and Lyzz Sberna, 9.85 acres, zoned E-1 Estate and C-1 Conservancy, SE ¼ Sec. 35]*

Chairwoman Esser gave an overview of the Landmarks Commission and the ordinances that grant the Commission's role in the process for any application for exterior changes and new construction.

Applicants Ryan and Lyzz Sberna gave an overview of the project and uses for the proposed accessory structure.

Jane Butz of 8618 Cullen Lane, Ruth Cook of W64 N649 Hanover Avenue, Emily Esser of 348 N. Granville Road, and Randy Ray of Saukville spoke providing various thoughts on the application.

After discussion by the Commissioners related to exterior construction materials in the Hamilton Historic District, several Commissioners expressed concern over the exterior, prefabricated metal siding and lack of the Historic District's traditional materials of stone and wood as stated in the Applicant's letter to the Commission. Applicant Ryan Sberna offered to add field stone masonry beneath the windows around the proposed building. Applicant Lyzz Sberna agreed to provide renderings for a future meeting that incorporated field stone masonry on the building. Applicant Ryan Sberna said he would contact his mason who worked on the residence.

Applicant Ryan Sberna indicated that he intended to go to the Plan Commission for the regularly scheduled February meeting for Site Plan Review and requested an expedited timeline from the Landmarks Commission. The Landmarks Commission discussed the further required procedures with the Sbernas. The Commissioners and Assistant Administrator/Clerk Jacoby explained the meeting agenda pages 6 and 13 of the Staff Report in detail, which outline the Town Ordinance-mandated, full approvals from: Landmarks Commission, Building Inspector, Ozaukee County Shoreland Zoning, Plan Commission, and Town Board.

Chairwoman Esser made a motion to table discussion and allow for review of updated renderings to be supplied by the Applicants. To accommodate the Applicant's request to accelerate the process, this meeting

was scheduled for 5pm on Thursday, February 5, 2026. The motion was seconded by Commissioner Rassmussen and carried unanimously.

5. ADJOURNMENT

A motion to adjourn was made by Commissioner Schaefer at 5:58. Commissioner Rassmussen seconded and the motion carried unanimously.

Respectfully submitted,
Sara Jacoby, Assistant Administrator/Clerk

**TOWN OF CEDARBURG
LANDMARKS COMMISSION MEETING MINUTES
February 5, 2026**

Present: Cecily Bishop, Carol Boettcher, Tim Rasmussen, Lance Schaefer, Eric Utz
Excused: Kari Esser
Absent: Ray Pecor
Also Present: Sara Jacoby, Assistant Administrator/Clerk

1. CALL TO ORDER/PLEDGE OF ALLEGIANCE

Chairwoman Pro Tem Boettcher called the meeting to order at 5:00 p.m. The meeting began with the pledge of allegiance. Roll call vote: Chairwoman Pro Tem Boettcher, Commissioner Bishop, Commissioner Pecor absent, Commissioner Rasmussen present, Commissioner Schaefer present, Commissioner Utz present.

2. MINUTES OF PREVIOUS MEETINGS

a. Approving of January 30, 2026 Landmarks Commission Meeting Minutes*

Clerk Jacoby noted that there would be a spelling change in the minutes. Commissioner Schaefer made a motion to approve the amended minutes from the December 1, 2025, Landmarks Commission Meeting. Commissioner Rasmussen seconded, and the motion carried 4-0-1 with Commissioner Boettcher abstaining.

3. OLD BUSINESS

a. Discussion and possible motion on a proposed 4,480 square foot, new construction accessory structure at 156 Green Bay Road, in the Hamilton Historic District [Applicant: Ryan and Lyzz Sberna, 9.85 acres, zoned E-1 Estate and C-1 Conservancy, SE ¼ Sec. 35]*

Chairwoman Pro Tem Boettcher introduced the application and Applicants Ryan and Lyzz Sberna gave an update on the changes made to the project including adding real field stone under the windows as discussed at the previous Landmarks meeting on January 30, 2026. The Commissioners discussed the use of cedar or fir for posts and the garage doors which face the street, which are not planned to be made of wood. The sides of the proposed building would be prefabricated metal siding, and the roof would also be metal. This proposed building would be the first allowed in the Historic District to use prefabricated metal siding and roofing for the exterior.

Commissioner Rasmussen made a motion to recommend the updated application reviewed at this meeting made by the Sbernas be forwarded to the Plan Commission. Commissioner Bishop seconded and the motion carried unanimously by roll call vote.

4. NEW BUSINESS

a. None.

5. ADJOURNMENT

A motion to adjourn was made by Commissioner Rasmussen at 5:21. Commissioner Schaefer seconded and the motion carried unanimously.

Respectfully submitted,

Sara Jacoby
Assistant Administrator/Clerk

Town of Cedarburg

Zoning Requirements for Accessory Buildings

(Principal structure or use must exist before accessory building construction, which must be located in the side or rear yard.)

Zoning District	Maximum Building (Sq.Ft.) Total	Minimum Distance from Principal Structure	*Minimum Setback – Street Yard (feet)	*Minimum Setback-Side Yard (feet)	*Minimum Setback - Rear Yard (feet)	Maximum Height (feet)
R-1 Single Family Residential	1,000 s.f. max for minimum lot size + 100 s.f. for each additional ¼ acre up to 1,500 s.f. max	10'	Permitted by Conditional Use Only	25' 10' if <150 s.f. & in rear yard Corner lot requires CUP for exception	25' 10' if <150 s.f. & in rear yard Corner lot requires CUP for exception	15' *Taller than 15' requires structure to match roof pitch of home up to 35' maximum but no taller than home
R-2 Single Family Residential See Section 320-109 (A)5.	1,000 s.f. max for minimum lot size + 100 s.f. for each additional ¼ acre up to 1,500 s.f. max	10'	Permitted by Conditional Use Only	25' 10' if <150 s.f. & in rear yard Corner lot requires CUP for exception	25' 10' if <150 s.f. & in rear yard Corner lot requires CUP for exception	15' *Taller than 15' requires structure to match roof pitch of home up to 25' maximum but no taller than home
R-3 Single Family Residential See Section 320-109 (A)5.	1,000 s.f. max for minimum lot size + 100 s.f. for each additional ¼ acre up to 1,500 s.f. max	10'	Permitted by Conditional Use Only	25' 10' if <150 s.f. & in rear yard Corner lot requires CUP for exception	25' 10' if <150 s.f. & in rear yard Corner lot requires CUP for exception	15' *Taller than 15' requires structure to match roof pitch of home up to 25' maximum but no taller than home
CR-A Countryside Residential*****	1,000 s.f. max first acre + 100 s.f. for each additional ¼ acre 1,500 s.f. max	10'	Permitted by Conditional Use Only	25' 10' if <150 s.f. & in rear yard Corner lot requires CUP for exception	25' 10' if <150 s.f. & in rear yard Corner lot requires CUP for exception	15' *Taller than 15' requires structure to match roof pitch of home up to 35' maximum but no taller than home
CR-B Countryside Residential*****	1500 s.f. or less for lots <10 acres Lots >10 acres are allowed an additional 1,000 s.f. per acre ***SEE EXCEPTION	10'	Permitted by Conditional Use Only	40' for buildings that house animals 25' for other buildings	40' for buildings that house animals 25' for other buildings	15' *Taller than 15' requires structure to match roof pitch of home up to 35' maximum but no taller than home
E-1 Estate	2,000 s.f. Or greater than 2,000 s.f. with architectural design and site plan approval	10'	125'	40'	40'	35'
TR Transitional Residential*****	1,000 s.f. max first acre + 100 s.f. for each additional ¼ acre 1,500 s.f. max	10'	Permitted by Conditional Use Only	25' 10' if <150 s.f. & in rear yard Corner lot requires CUP for exception	25' 10' if <150 s.f. & in rear yard Corner lot requires CUP for exception	15' *Taller than 15' requires structure to match roof pitch of home up to 35' maximum but no taller than home
TR-2 Transitional Residential 2*****	1,000 s.f. max first acre + 100 s.f. for each additional ¼ acre 1,500 s.f. max	10'	Permitted by Conditional Use Only	25' 10' if <150 s.f. & in rear yard Corner lot requires CUP for exception	25' 10' if <150 s.f. & in rear yard Corner lot requires CUP for exception	15' *Taller than 15' requires structure to match roof pitch of home up to 35' maximum but no taller than home
A-1 Agricultural****	N/A ***SEE EXCEPTION	N/A	75'	25'	25'	42'
A-2 Agricultural****	N/A ***SEE EXCEPTION	N/A	75'	25'	25'	42'
Business Districts (B-1,2,3)	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Not Permitted
M-1 Industrial	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Not Permitted
M-2 Industrial & Mixed Use	N/A	N/A	25'	15'	30'	25' or one story
M-3 Quarry	By conditional use		100'	100'	100'	45'
C-1 Conservancy	By Conditional Use Only					
P-1 Public & Private Park	All Structures are Conditional Uses					

* Setbacks are measured from the furthestmost projection (soffits, fireplaces, decks/porches, steps, windows) to the property line

*** Any individual structure, being newly constructed, that is greater than 1,500 square feet shall be subject to architectural design approval (including approval of building materials to be used) and site plan approval by the Plan Commission and Town Board

**** Farm dwellings are considered accessory structures in Agricultural Districts. Farm dwellings follow R-3 rules.

***** Size of structures in TR, CR-A and CR-B may be increased by conditional use permit if the accessory buildings existed at the time the lot was platted and if buildings have been deemed by the Landmarks Commission and Plan Commission to be of historic or preservative value as determined by § 320-63 of this chapter.

Revised 10/8/18

**TOWN OF CEDARBURG, WISCONSIN
ORDINANCE NO. 2025-3**

An Ordinance to Rezone Land and Amend the Zoning Map for certain lands from R-2 Single Family Residential District to E-1 Estate Residential District located at 156 Green Bay Road (C-1 Conservancy unchanged), in the Town of Cedarburg, Ozaukee County, Wisconsin.

WHEREAS, the Town of Cedarburg Plan Commission, having previously reviewed all standards required to be considered by the Zoning Code of the Town of Cedarburg and after due deliberation, has recommended to the Town Board that the following be rezoned: certain lands from R-2 Single Family Residential District to E-1 Estate Residential District located at 156 Green Bay Road (C-1 Conservancy unchanged) with Tax Key #03-050-0020.006 in the Town of Cedarburg, Ozaukee County, Wisconsin; and

WHEREAS, all notices of said proposed rezoning and public hearing thereon have been given as required by the Zoning Code and sec. 62.23(7)(d), Stats., and such public hearing was held before the Town Board of Supervisors on June 4, 2025; and

WHEREAS, the Town Board has determined that the rezoning of such property will promote the public health, safety, morals and general welfare of the community, and has made a motion that the zoning districts and Official Zoning Map of the Town of Cedarburg be amended to reflect the above-described zoning change.

NOW, THEREFORE, the Town Board of the Town of Cedarburg, Wisconsin, does ordain the following lands be rezoned as follows:

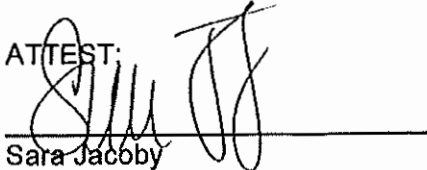
1. Certain lands be rezoned from R-2 Single Family Residential District to E-1 Estate Residential District located at 156 Green Bay Road (Tax Key # 03-050-0020.006) (C-1 Conservancy unchanged) in the Town of Cedarburg, Ozaukee County, Wisconsin.
2. The zoning districts and Official Zoning Map of the Town of Cedarburg shall be amended to reflect the revised zoning designations.
3. This Ordinance shall become effective upon passage and posting as provided by law.

Passed and approved this 4th day of June, 2025.

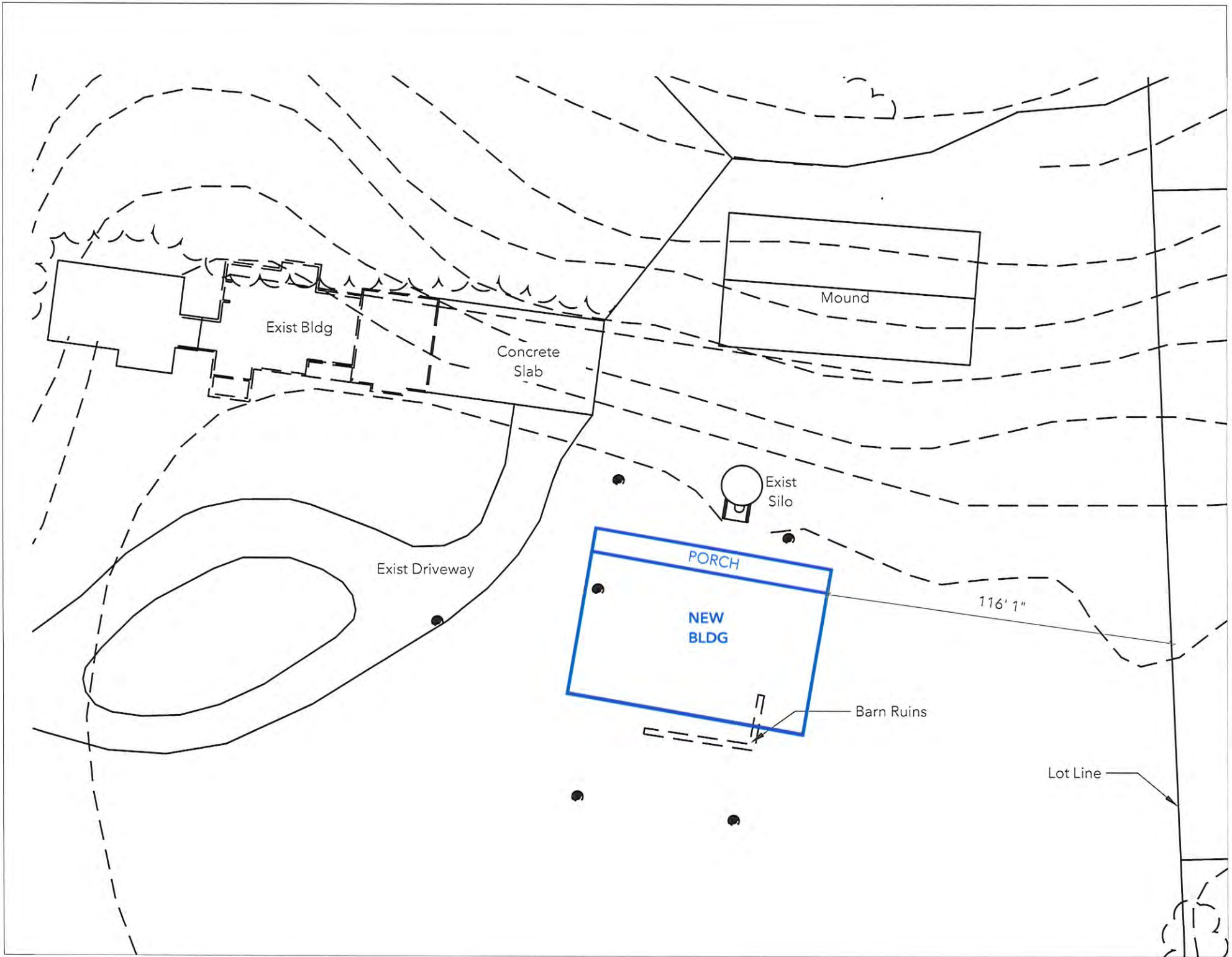


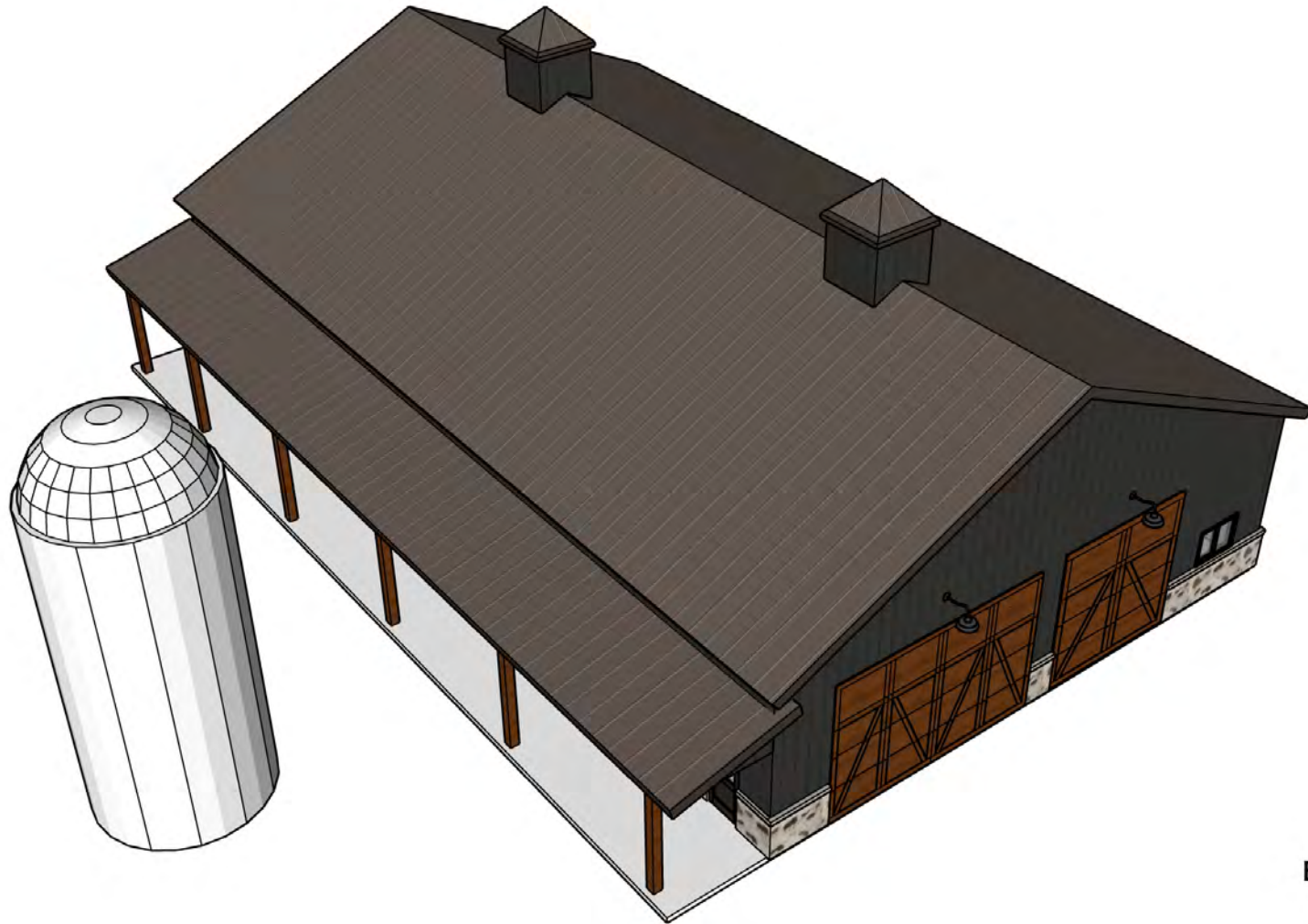
David M. Salvaggio, Town Chairman

ATTEST:

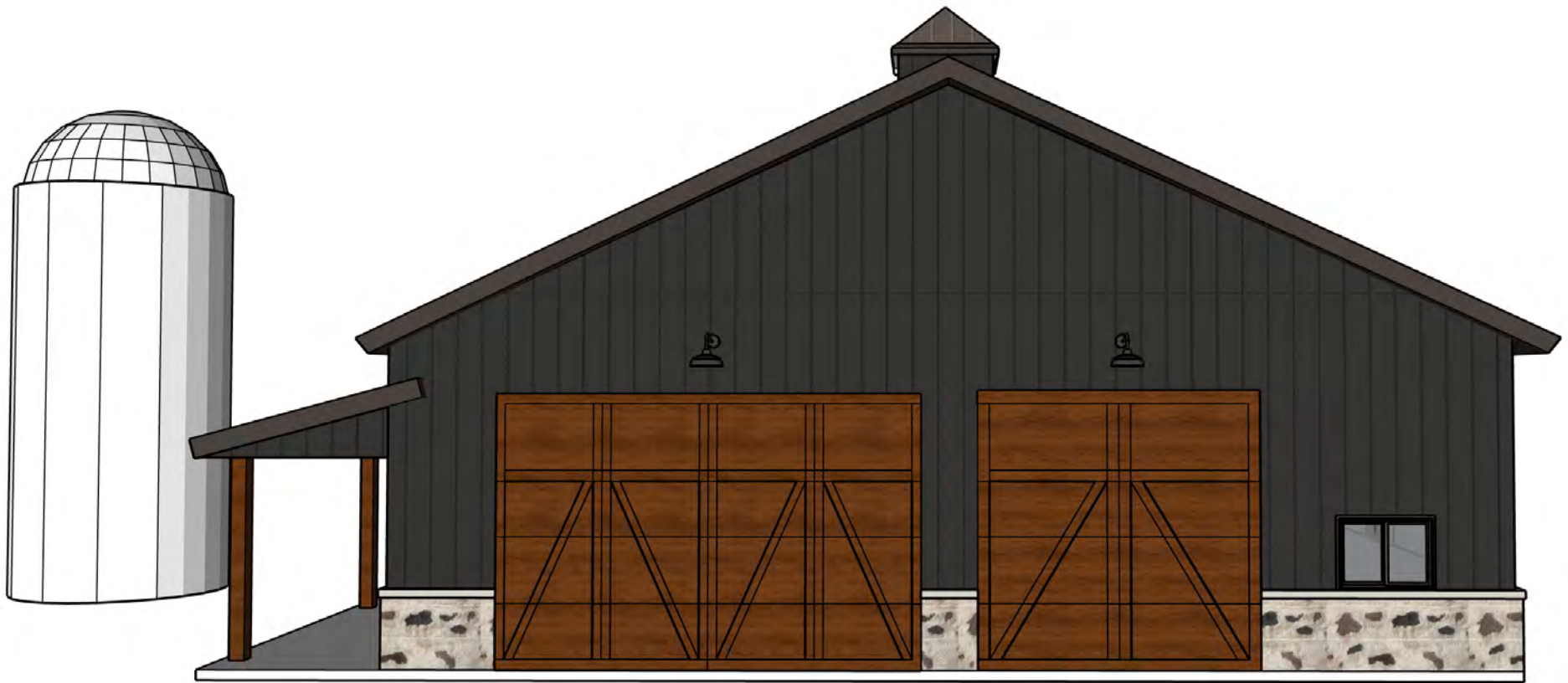


Sara Jacoby
Assistant Administrator/Clerk

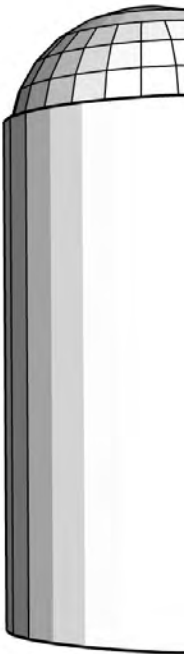
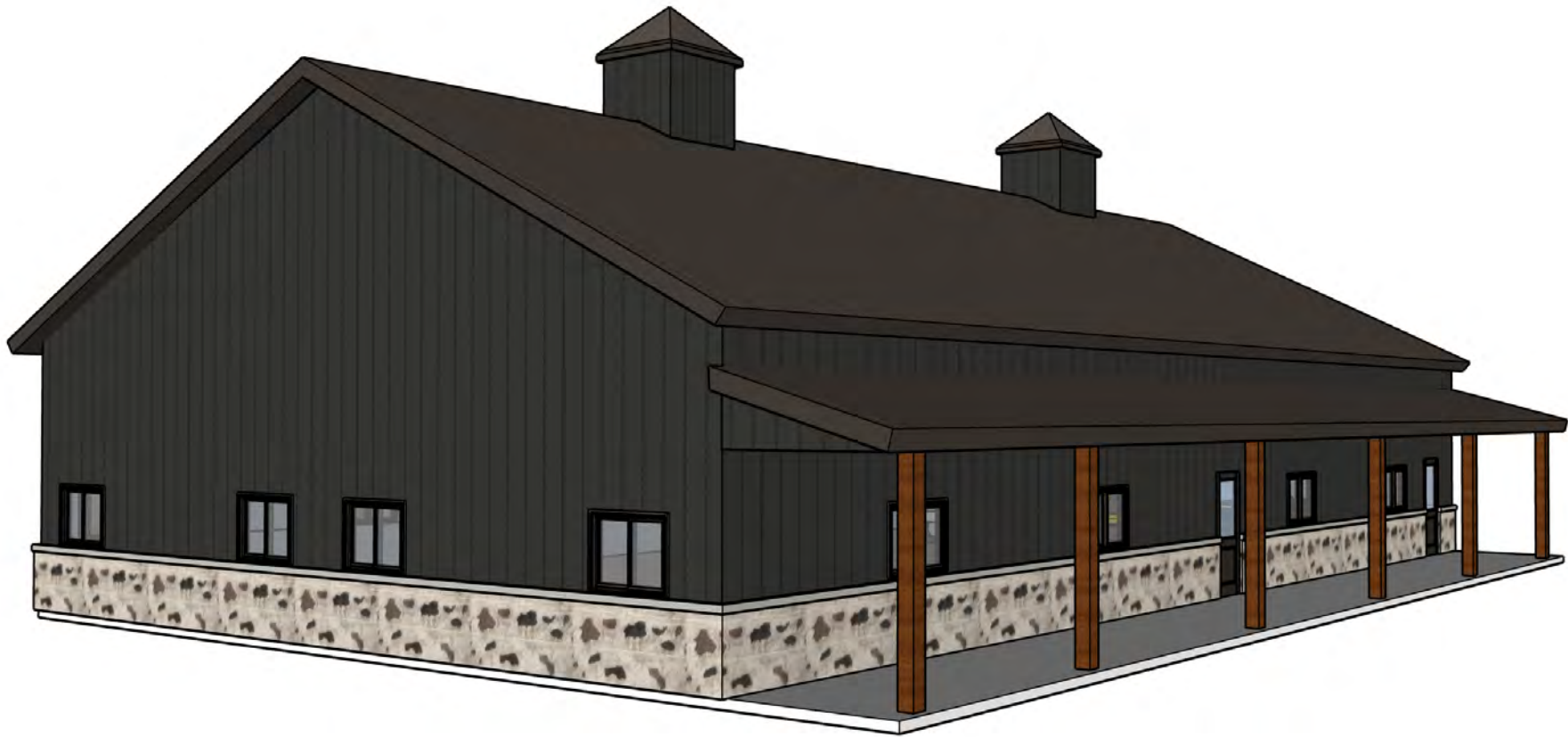




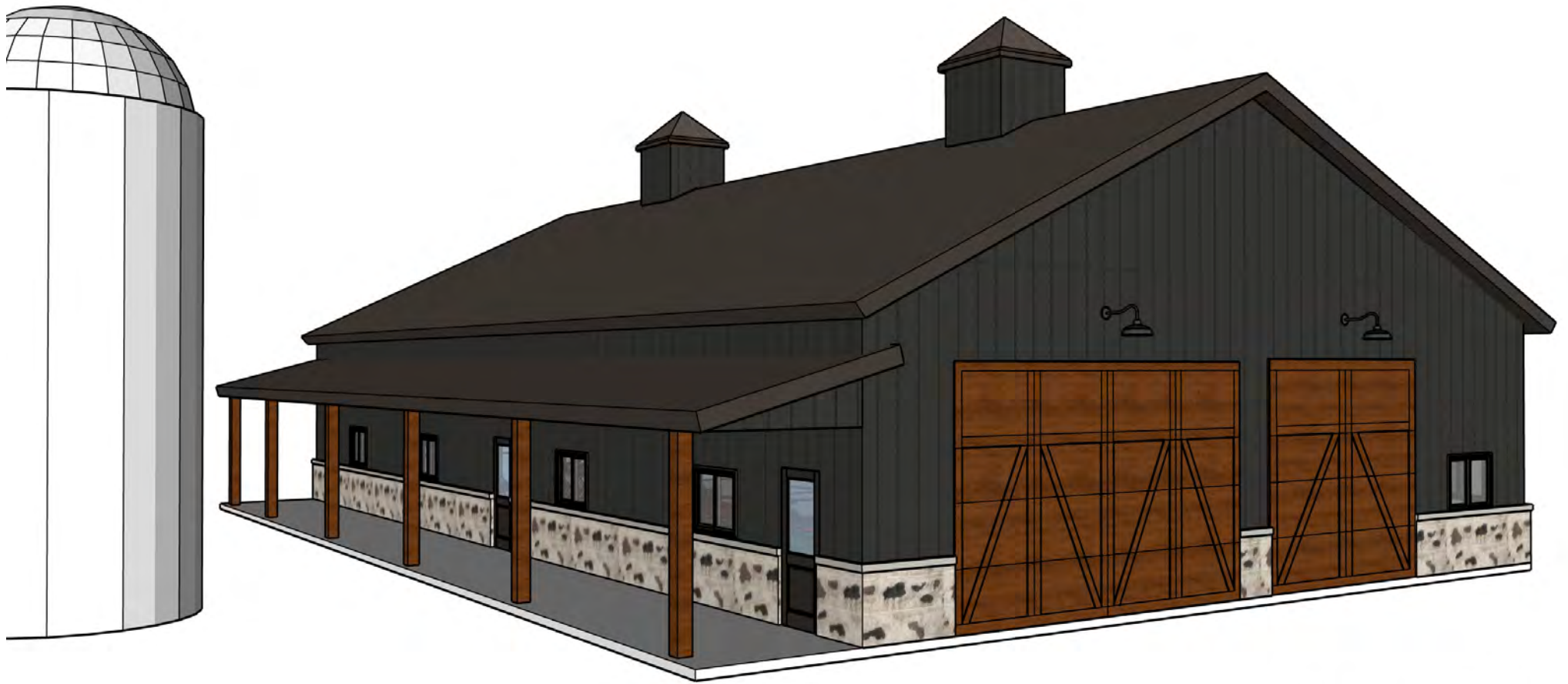
Birds Eye View



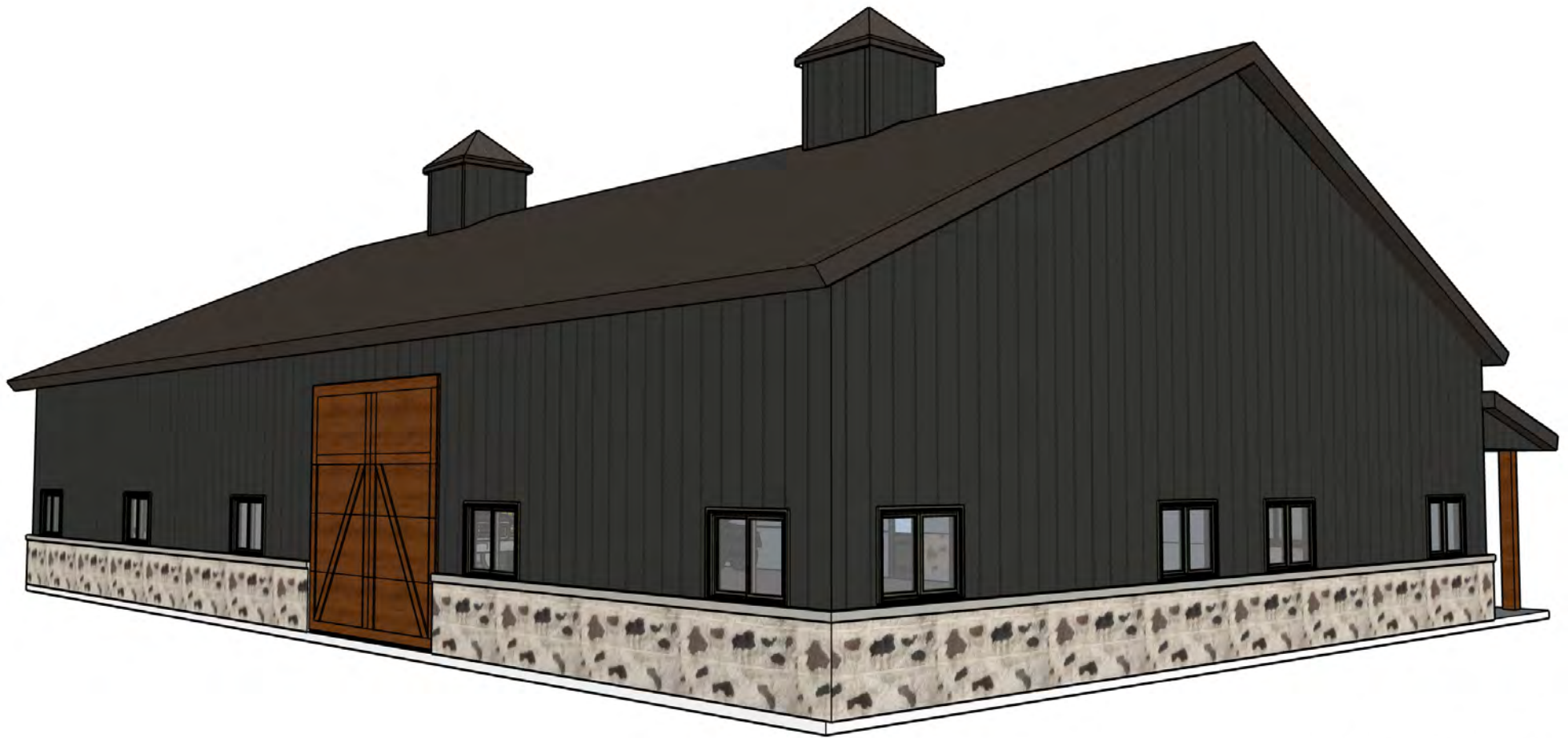
West Elevation



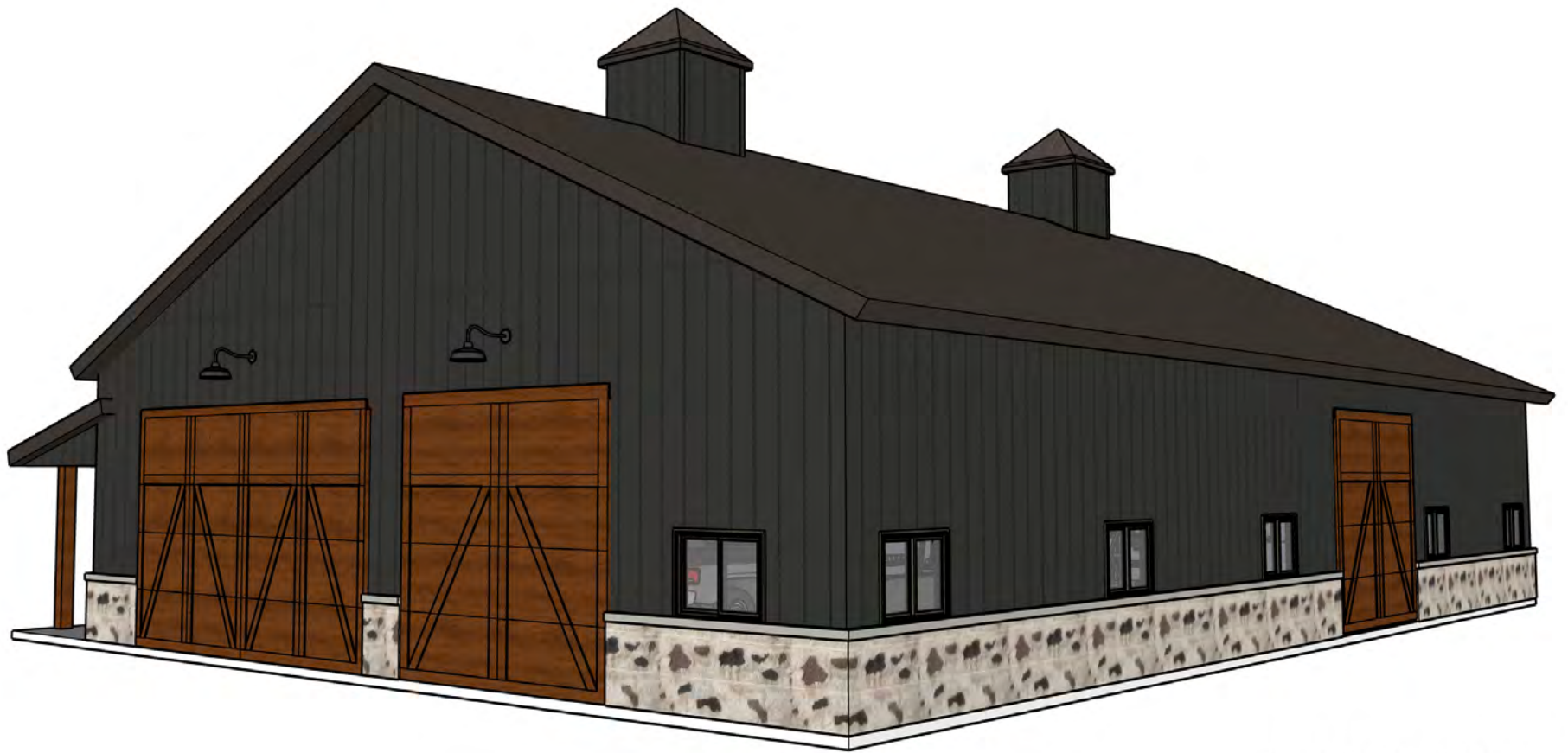
North East Perspective



North West Perspective



South East Perspective



South West Perspective



SBERNA ACCESSORY BUILDING ::

December 3, 2025 ::

156 Green Bay Rd. Cedarburg WI 53012



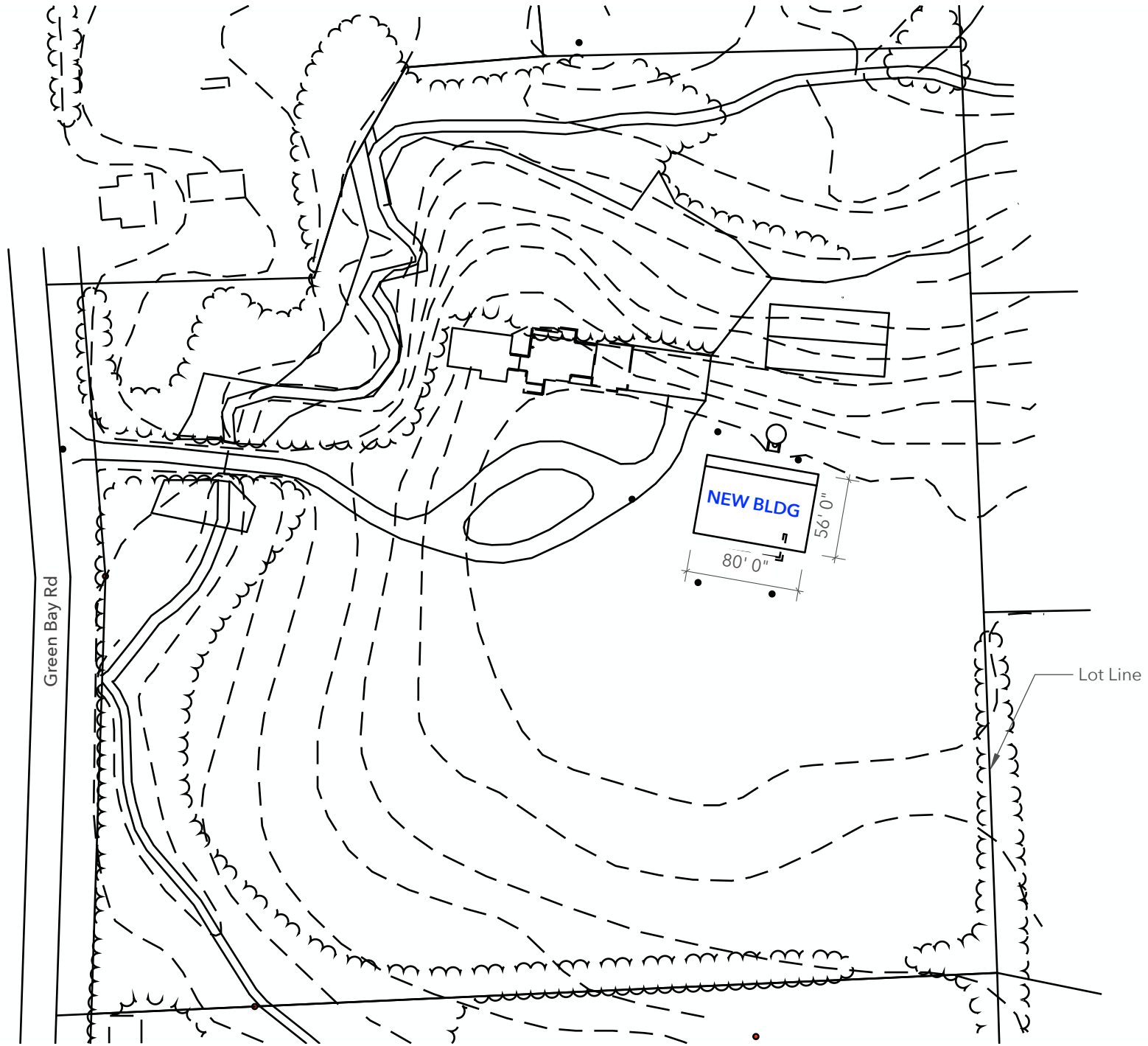
LOCATION FOR ACCESSORY BUILDING



SBERNA ACCESSORY BUILDING ::

January 19, 2026 ::

156 Green Bay Rd. Cedarburg WI 53012



Site Survey

Scale: 1" = 100'

GENERAL NOTES AND SPECIFICATIONS

GENERAL NOTES

DEVIATION FROM PLANS - Any deviation from these plans shall have been consulted with and documented by the supervising professional.

NON-CONTRACT ITEMS - Items may appear on these plans that are done by others and are not part of the Walters Buildings' contract.

STRUCTURAL PERFORMANCE - Walters Buildings and the Certifying Engineer's responsibility is limited to the structural performance of the post frame shell and listed items. The parties are not acting as the supervising professional of record for onsite supervision of construction, installation, or inspection. Check with local municipality for any special requirements.

SPECIFICATIONS

SITE WORK - The building site shall be graded to provide drainage away from the building. Maintain the grade levels shown on the plan around the building.

FOUNDATION PLACEMENT NOTES - All footings or Sakrete shall be placed on undisturbed virgin soil remaining consistent with the soil bearing capacity as noted in the 'LOADS' Table. If any loose soil is found at footing locations notify engineer at once so adjustments to footings can be made accordingly, as may be necessary.

Column holes are dug per the dimensions shown on the foundation plan (S1) and ready-mix concrete pads or dry concrete pads are poured in place (Note plans for size and type). Additional concrete-mix is poured around the base of the column.

Backfill around columns above footings shall be placed in 8" maximum depth layers and thoroughly compacted. Backfill material shall remain consistent with the presumed lateral soil pressure noted in the 'LOADS'. Typical soil types meeting the requirements include firm sand and loose sandy gravel. Backfill of excavated holes in soil around wood columns may be made with concrete at contractors option.

Foundations shall not be placed prior to confirmation of the soil type at a depth of 5 feet below the bottom of the footing.

CONCRETE (if applicable) - Concrete placement shall be in accordance with ACI 318-14.

Design mixes shall be obtained from the following:
1.Strength to be a minimum of 3000 PSI at 28 days for walls and footings.
2.Strength to be a minimum of 3500 PSI at 28 days for floor slabs.
3.Slump not to exceed 4 inches.

REINFORCING STEEL (if applicable) - Reinforcing steel shall be placed in accordance with CRSI Standards.

Steel reinforcing shall meet the requirements of the "Standard Specifications" for:
1.Billet-Steel Concrete Reinforcing Bars Grade 60 (ASTM designation A-615).
2.All steel bars shall meet the requirements of ASTM designation A-615. All welded wire mesh for concrete reinforcement shall meet the requirement shall meet the requirements set forth in Standard Specification (ASTM designation A-185). The reinforcement shall not be painted and must be free from grease, dirt or deep rust when placed in the work. To prevent rust, the material must be protected from moisture. The reinforcement shall be protected by the proper thickness of concrete.

Where not otherwise shown, the thickness of concrete over the reinforcement shall be:
1.Where concrete is deposited against the ground without the use of forms, the thickness of concrete shall not be less than 3 inches.
2.Where concrete is exposed to weather, the thickness of concrete shall not be less than 1 1/2 inches.
3.In columns or pedestals not exposed to weather or ground, the thickness of concrete shall not be less than 1 1/2 inches.

ANCHOR BOLTS (if applicable) - The contractor shall set all anchor bolts to receive the building. The bolts shall be the size as shown or required. They may be drilled into place as allowed.

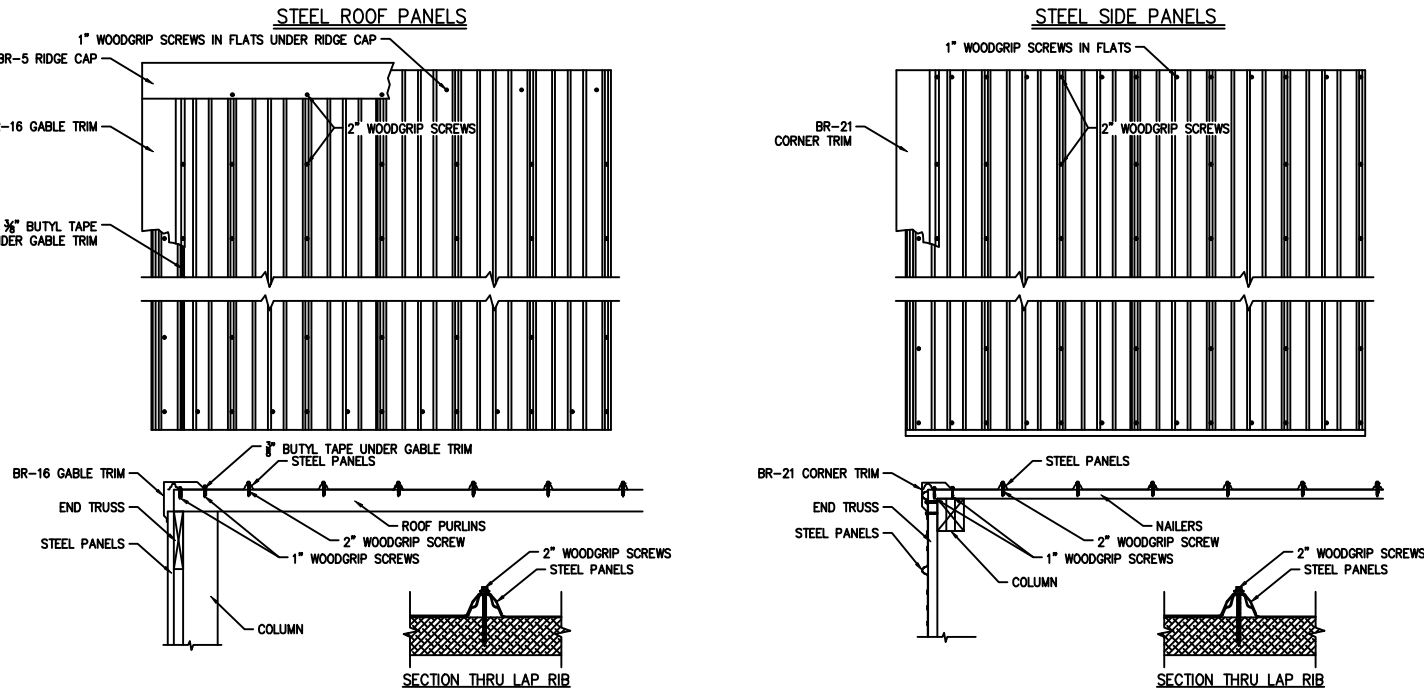
STRUCTURAL LAMINATED COLUMNS - The No. 2 or better southern yellow pine S4S structural columns used in this Walters Building shall consist of a 3 or more members sized as shown on the plans, steel plate laminated, and designed to meet the structural load requirements. Column lumber is kiln-dried to a 19% moisture content.

The members for use in contact with the soil shall be pressure treated to a retention of 0.8 pounds of Copper Chromate Arsenate Type C, oxide type formulation, as listed in American Wood Preservers Assoc. Standard U1. The treatment process shall be as described in the current AWPFA Standard U1 Commodity Specification A, Use Category 4B.

Splices in columns shall conform to Jack Walters & Sons Corp. Standard details and the columns shall bear a permanent Jack Walters & Sons Corp. stamp in a visible location. Wisconsin DILHR Material Approval No. 201610-W.

SPLASHBOARDS - Splashboards are S4S #2 or better Southern Pine, pressure treated to a net retention of 0.15 pounds per cubic foot with MCA copper based treatment. Approved for G-90 galvanized protected connectors and for aluminum contact. Building code compliant - ESR #2240. One row is furnished for building on a level grade.

STEEL PANEL SCREWING PATTERN



STANDARD ROUGH OPENINGS FOR STANDARD PLYCO WALKDOORS		
CALL SIZE	DOOR	ROUGH OPENING WIDTH (in.) x HEIGHT (in.)
306B	COMMERCIAL PLYCO 20 SERIES	40 3/8" x 81 3/4"
606B	COMMERCIAL PLYCO 20 SERIES	77 1/4" x 81 3/4"
306B	3-HOUR RATED PLYCO 22 SERIES	40 1/2" x 82 3/8"
606B	3-HOUR RATED PLYCO 22 SERIES	76 1/2" x 82 3/8"
306B	THERMAL BREAK PLYCO 92 TB ALUMINUM FRAME SERIES	40 1/2" x 82 1/2"
606B	THERMAL BREAK PLYCO 92 TB SERIES STANDARD W/ MULLION	78 1/2" x 82 1/2"
606B	THERMAL BREAK PLYCO 92 TB SERIES OPTIONAL W/ ASTRAGAL	77 3/4" x 82 1/2"

FASTENING SCHEDULE

FLOOR CONSTRUCTION		
Built-up Girders & Beams	20d common	32" o.c. direct
Bridging to Joists	8d common	2 ea. direct end
Floor Joists to Studs	10d common	5 direct or 3 direct
Floor Joists to Studs (W/ceiling joist)	10d common	2 direct
Floor Joists to Sill or Girder	8d common	3 toe nail
Ledger Strip	16d common	3 ea. direct joist
1" Subflooring (6" or less)	8d common	2 ea. direct joist
1" Subflooring (8" or more)	8d common	3 ea. direct joist
2" Subflooring	16d common	2 ea. direct joist
Particleboard Underlayment (1/4"-3/4")	6d annular threaded	6" o.c. direct edges & 12" o.c. intermediate
WOOD STRUCTURAL PANEL SUBFLOORING		
1/2" or less	6d common or 6d annular/spiral thread	6" o.c. direct edges & 12" o.c. intermediate
19/32" - 3/4"	8d common or 6d annular/spiral thread	6" o.c. direct edges & 12" o.c. intermediate
7/8" - 1-1/8"	10d common or 8d ring shank 8d annular or spiral thread	6" o.c. direct edges & 12" o.c. intermediate
1/2" or less	16ga galvanized wire staples	4" o.c. edges & 7" o.c. intermediate
19/32, 5/8"	3/8" min. crown, 1-5/8" length	2-1/2" o.c. edges & 4" o.c. intermediate
WALL CONSTRUCTION		
Stud to sole plate	16d common	4 toe nail
Double stud	16d common	2 direct nail
Stud to cap plate	16d common	2 toe nail or 2 direct nail
Double studs	10d common	12" o.c. direct
Corner studs	16d common	24" o.c. direct
Sole plate to joist or blocking	16d common	16" o.c.
Interior-braced wall sole plate-parallel joist	16d common	12" o.c.
Double cap plate	10d common	16" o.c. direct nail
Cap plate laps	10d common	2 direct nail
Ribbon strip, 6" or less	10d common	2 ea. direct bearing
Ribbon strip, 6" or more	10d common	3 ea. direct bearing
Diagonal brace (to stud & plate)	8d common	2 ea. direct bearing
Interior-braced wall top plate-joist/blocking	10d common	12" o.c.
Tail beams to headers (nailing permitted)	20d common	1 ea. end 4 sq.ft. floor area
Header beams to trimmers (nailing permitted)	20d common	1 ea. end 8 sq.ft. floor area
Continuous header to stud	8d common	4 toe nail
Continuous header, two pieces	16d common	16" o.c. direct
ROOF & CEILING CONSTRUCTION		
Ceiling joists to plate	16d common	3 toe nail
Ceiling joists (laps over partition)	10d common	3 direct nail
Ceiling joists (parallel to rafter)	10d common	3 direct nail
Collar beam	10d common	3 direct
Roof rafter to plate	8d common	3 toe nail
Roof rafter to ridge	16d common	2 toe nail or direct nail
Jack rafter to hip	10d common	3 toe nail
1" roof decking (6" width or less)	16d common	2 direct nail
1" roof decking (over 6" width)	8d common	2 ea. direct rafter
3 ea. direct rafter	8d common	3 ea. direct rafter
WALL & ROOF SHEATHING		
1" wall sheathing (<8")	8d common	2 ea. direct stud
1" wall sheathing (over 8" width)	8d common	3 ea. direct stud
1-1/2" fiberboard sheathing	1-1/2" GV roofing nail or 6d common or 16ga staple, 1-1/8" w/min. crown of 7/16"	3" o.c. exterior edge, 6" o.c. intermediate
25/32" fiberboard sheathing	1-3/4" GV roofing nail or 8d common or 16ga staple, 1-1/2" w/min. crown of 7/16"	3" o.c. exterior edge, 6" o.c. intermediate
Gypsum sheathing	12ga 1-1/4" large head, corrosion resistant	4" o.c. on edge, 8" o.c. intermediate
Gypsum sheathing (seismic tracing)	11ga 1-3/4" long 7/16" head	4" o.c. all bearing points
Particleboard wall sheathing (1/2" or less)	6d common	6" o.c. direct edges & 12" o.c. intermediate
Particleboard wall sheathing (5/8" or less)	8d common	6" o.c. direct edges & 12" o.c. intermediate
WOOD STRUCTURAL PANEL ROOF & WALL SHEATHING		
1/2" or less	6d common (walls); 8d common (roofs)	6" o.c. direct edges & 12" o.c. intermediate
19/32"-1"	8d common	6" o.c. direct edges & 12" o.c. intermediate
1" or greater	10d common	6" o.c. direct edges & 12" o.c. intermediate
1/2" or less	16ga GV wire staples	4" o.c. edges & 8" o.c. intermediate
19/32", 5/8"	same as immediately above	2-1/2" o.c. edges & 5" o.c. intermediate
Shingles	#14 B&S ga corrosion resistant	12 ea. bearing
Waterboarding	8d corrosion resistant	12 ea. bearing

Note A: Single nails shall penetrate not less than 3/4" into nailing strips, sheathing or supporting construction except as otherwise provided for in Section 1507.0.
Note B: For regions having a basic wind speed of 90 mph or greater where the main roof height is less than 25 ft. and for regions having basic wind speed of 80 mph or less, nails which attach wood structural panel roof sheathing to gable end wall framing shall be spaced 6" o.c. Where basic wind speed is greater than 80 mph, nails which attach panel roof sheathing to intermediate supports shall be spaced 6" o.c. of a minimum of a 48" distance from ridges, eaves & gable end walls; & 4" o.c. to gable end wall framing.
Note C: For regions having a basic wind speed of 90 mph greater, 8d deformed shank nails shall be utilized to attach wood structural panel roof sheathing to framing within a minimum 48" distance from gable end walls provided the mean roof height is between 25' and 35'. For roof heights greater than 35' in a 90 mph or greater wind region, attachment of wood structural panel roof sheathing shall be designed for the wind loads in Section 1609.0.
Note D: Nails shall be spaced 6" o.c. direct to panel edges and 6" o.c. to intermediate supports where panel spans are 48" o.c. or greater.
Note E: 1" = 25.4mm, 1" = 304.8mm. "

ABBREVIATIONS

ABV	Above	F.D.	Floor Drain
AFF	Above Finish Floor	F.E.	Fire Extinguisher
BBP	Blocking Between Purlins	F.O.	Framed Opening
B.O.S.	Bottom Of Splashboard	FT	Feet
BRG	Bearing	GA	Gage, Gauge
B.S.	Both Sides	GTE	Grade To Eave
€	Centerline	GTH	Grade To Heel
CFT	Cubic Foot	GTP	Grade To Peak
C.H.	Ceiling Height	GV	Galvanized
CLOS	Closet	IN.	Inch
COM	Common	PL	Property Line
CMU	Concrete Masonry Unit	PSF	Pounds per Square Foot
d	Penny	PSI	Pounds per Square Inch
DBL	Double	P.T.	Pressure Treated
Ea.	Each	R.C.	Raised Chord
E.E.	Each End	R.O.	Rough Opening
E.F.	Each Face	R.P.	Straight Chord
E.W.	Each Way	STP	Steel Transfer Plate
LAM	Laminated	T&G	Tongue & Groove
L.A.V.	Lavatory	T.O.G.	Top of Ledger
MIL	Millimeter(s)	T.O.W.	Top of Wall
NBW	Not By Walters Buildings	T.O.C.	Top of Concrete
N.T.S.	Not To Scale	T.O.F.	Top of Floor
O.C.	On Center(s)	TYP	Typical(y)
O.C.E.W.	On Center Each Way	TRTD	Treated
OHD	Overhead Door	WH	Water Heater
O/O	Out to Out	WWM	Welded Wire Mesh



PROJECT NAME & LOCATION

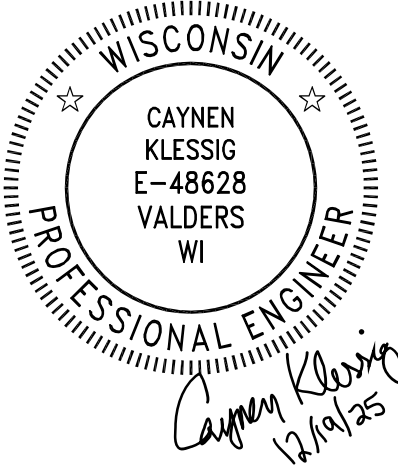
OWNER NAME:	PROJECT ADDRESS:
RYAN & LIZZ SBERNA	156 GREEN BAY ROAD CEDARBURG, WI 53012 OZAUKEE COUNTY

PROJECT LOAD SUMMARY

International Building Code 2021	
Wisconsin Uniform Dwelling Code	
OCCUPANCY TYPE:	Utility & Miscellaneous
BUILDING AREA:	3840 sq ft
RISK CATEGORY II	
CONSTRUCTION TYPE : VB	
Ground Snow Load :	30 PSF
Design Snow Load :	25.2 PSF
Unbalanced Snow Load per SPS 362.1608 :	28.2 PSF
Balanced Snow Load Used :	
Roof Live Load (reducible)	20 PSF
Total Load Used :	40 PSF
Wind Speed :	115 mph
Exposure Category :	C
Design Wind Load :	15.5 PSF
Wind Load Used :	16 PSF
Seismic Design Category :	B
Seismic Base Shear :	727 #
Presumed Soil Bearing Capacity :	2000 PSF
Presumed Lateral Soil Pressure :	200 PSF

SHEET INDEX

G1	GENERAL SPECIFICATIONS
A1,A1.1	ELEVATIONS
A2	FLOOR PLAN
S0	CONCRETE PLAN
S0.1	CONCRETE DETAILS
S1	COLUMN PLAN
S2	FRAMING PLAN
S3-S5	SECTIONS
D1	CONSTRUCTION DETAILS
T1	TRUSS DETAILS





**Walters
Buildings**

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PROJECT NAME:
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SALES REP / DEALER:
RUSS BREIT

DRAFTER:
ADAM CRAPSER

ESTIMATOR:
CHARLES SMITH

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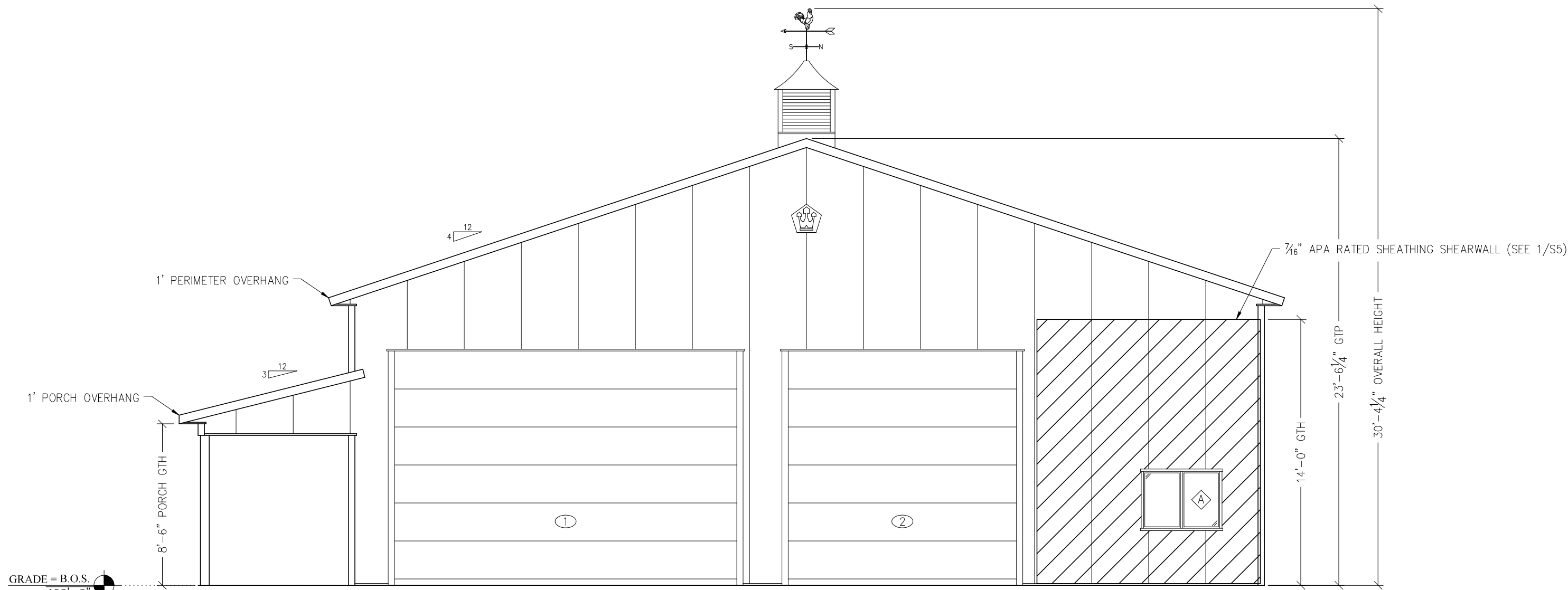
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ENGINEER:
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JOB NUMBER:
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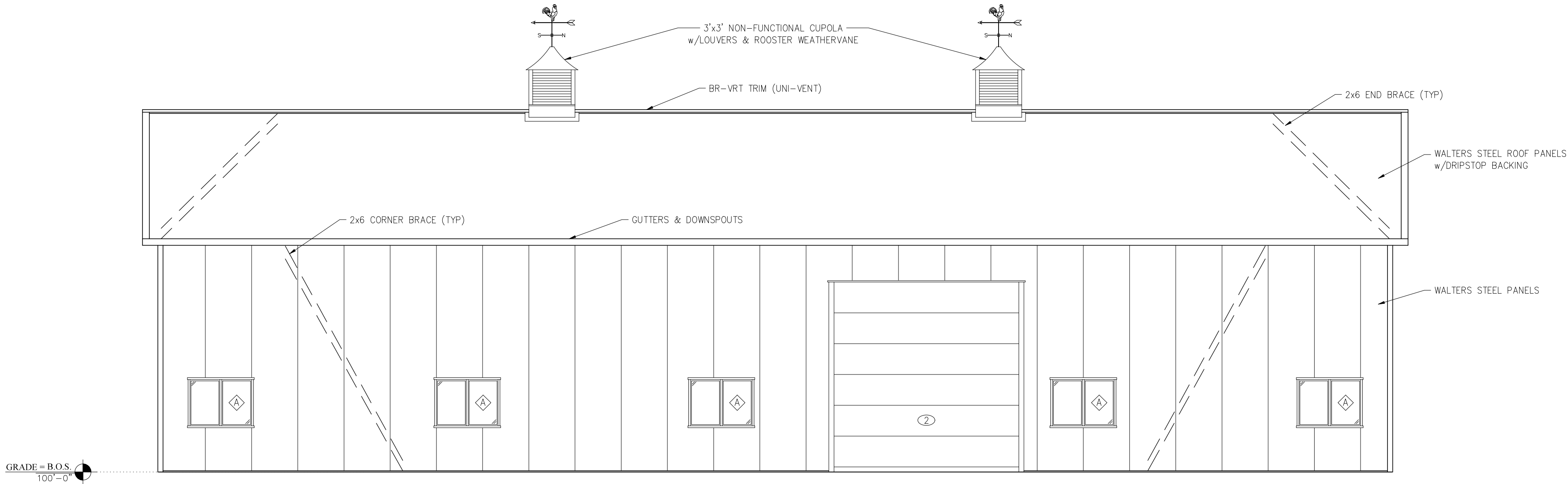
SHEET NUMBER:

G1



NAILERS @ 24" O.C. ON
WEST END WALL ONLY

1 WEST END ELEVATION
A1 SCALE: 3/16" = 1'-0"



2 SOUTH SIDE ELEVATION
A1 SCALE: 3/16" = 1'-0"

DOOR & WINDOW SCHEDULE		
MAINTAIN LEVEL APPROACH TO ALL WALKDOORS *FIELD VERIFY ALL WINDOW SILL HEIGHTS*		
SEE PAGE G1 FOR PLYCO ROUGH OPENING SIZES		
TAG	TYPE	QUANTITY
①	18'-0"x12'-0" OVERHEAD DOOR OPENING	1
②	12'-0"x12'-0" OVERHEAD DOOR OPENING	2
③	3068 VUE-LITE COMMERCIAL PLYCO 20 SERIES w/LEVER LOCK SET	2
④	3068 INTERIOR WALK DOOR	4
Ⓐ	4'-0"x3'-0" HORIZONTAL SLIDE WINDOW	15



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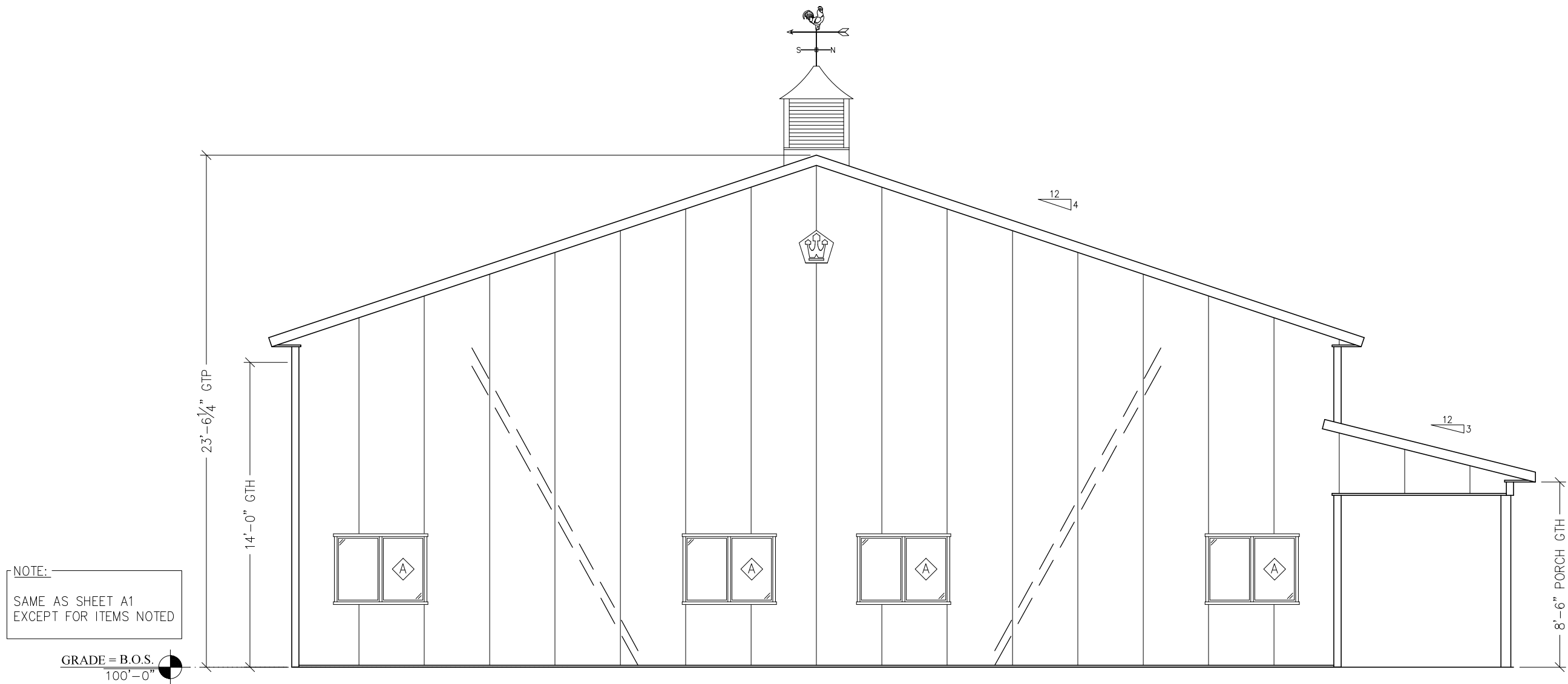
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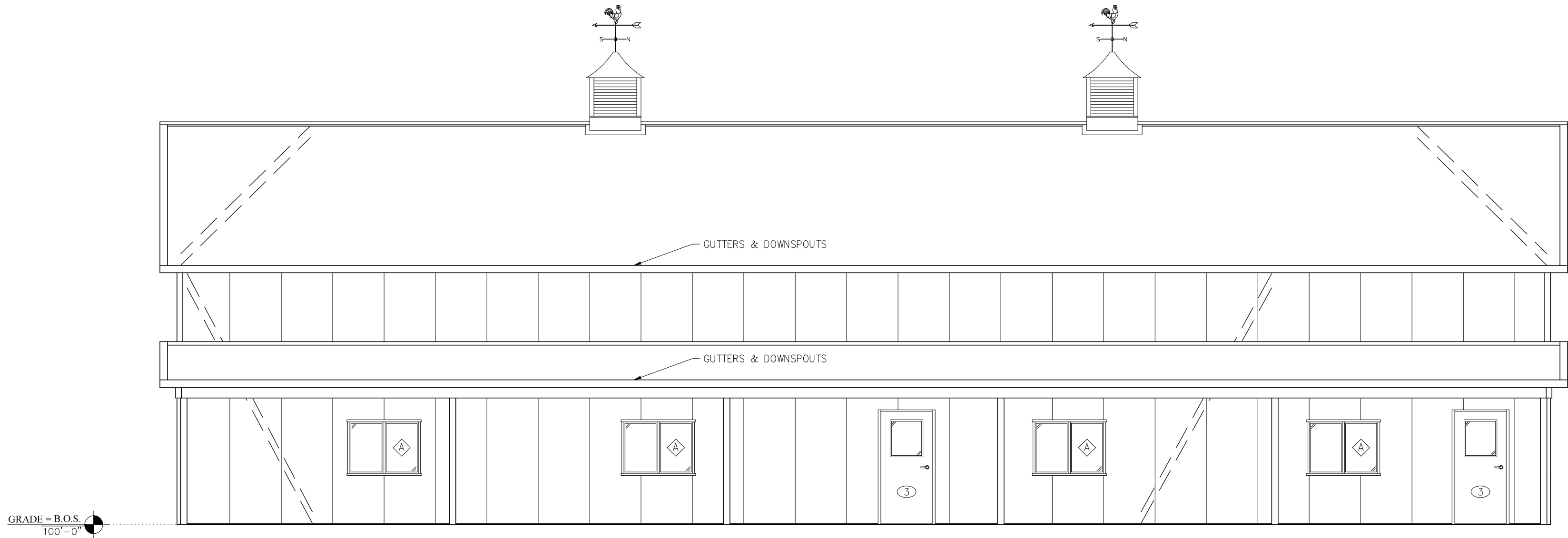
95-2154

SHEET NUMBER:

A1



1 EAST END ELEVATION
A1.1 SCALE: 3/16" = 1'-0"



2 NORTH SIDE ELEVATION
A1.1 SCALE: 3/16" = 1'-0"

DOOR & WINDOW SCHEDULE		
MAINTAIN LEVEL APPROACH TO ALL WALKDOORS *FIELD VERIFY ALL WINDOW SILL HEIGHTS* *SEE PAGE G1 FOR PLYCO ROUGH OPENING SIZES*		
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SHEET NUMBER:

A1.1

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SCALE: 3/16" = 1'-0"



ENGINEER:

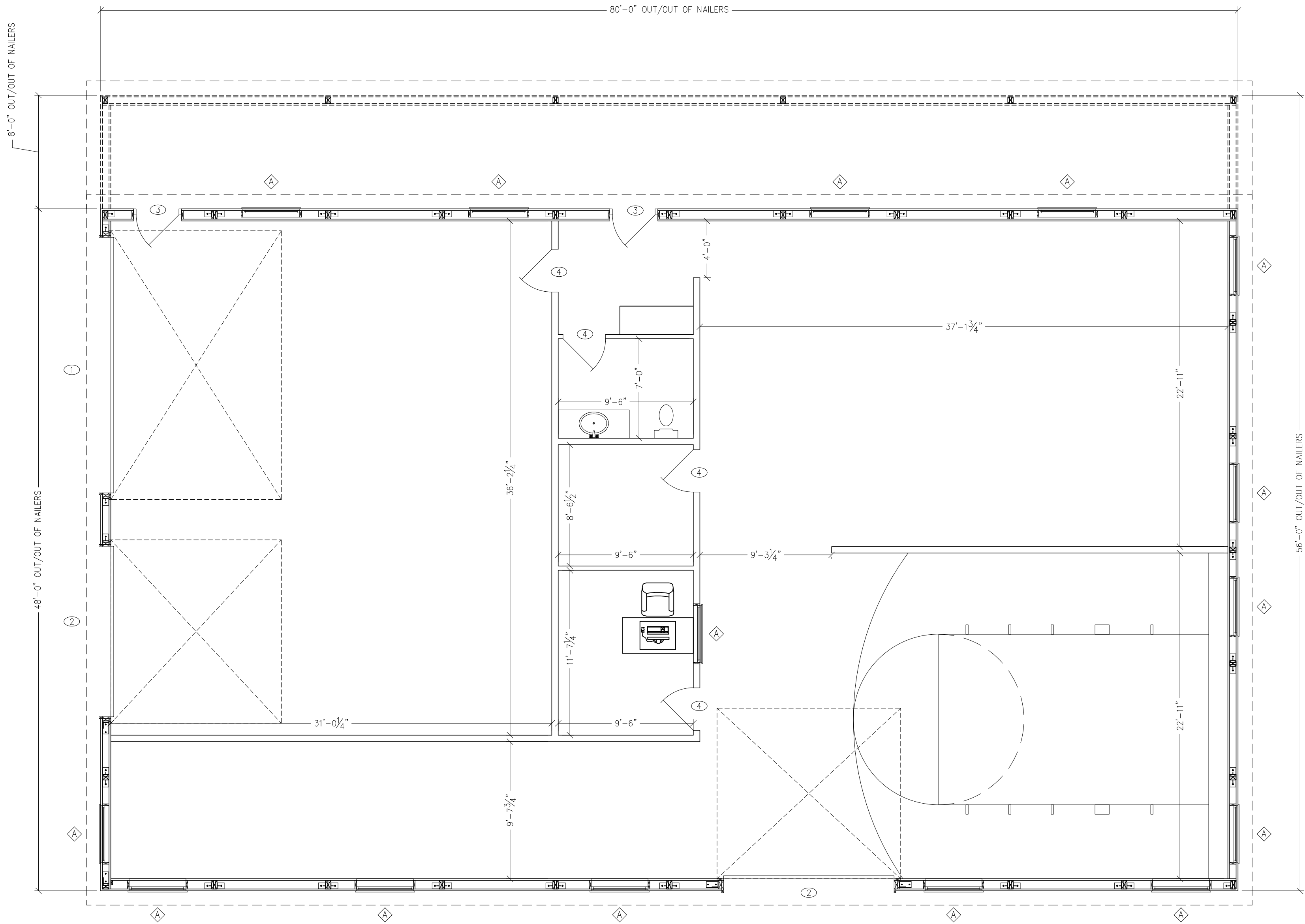
CAYNEN KLESSIG

JOB NUMBER:

95-2154

SHEET NUMBER:

A2





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OZAUKEE COUNTY

PROJECT NAME:
48x80 GARAGE

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OZAUKEE COUNTY

SALES REP / DEALER:
RUSS BREIT

DRAFTER:
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ESTIMATOR:
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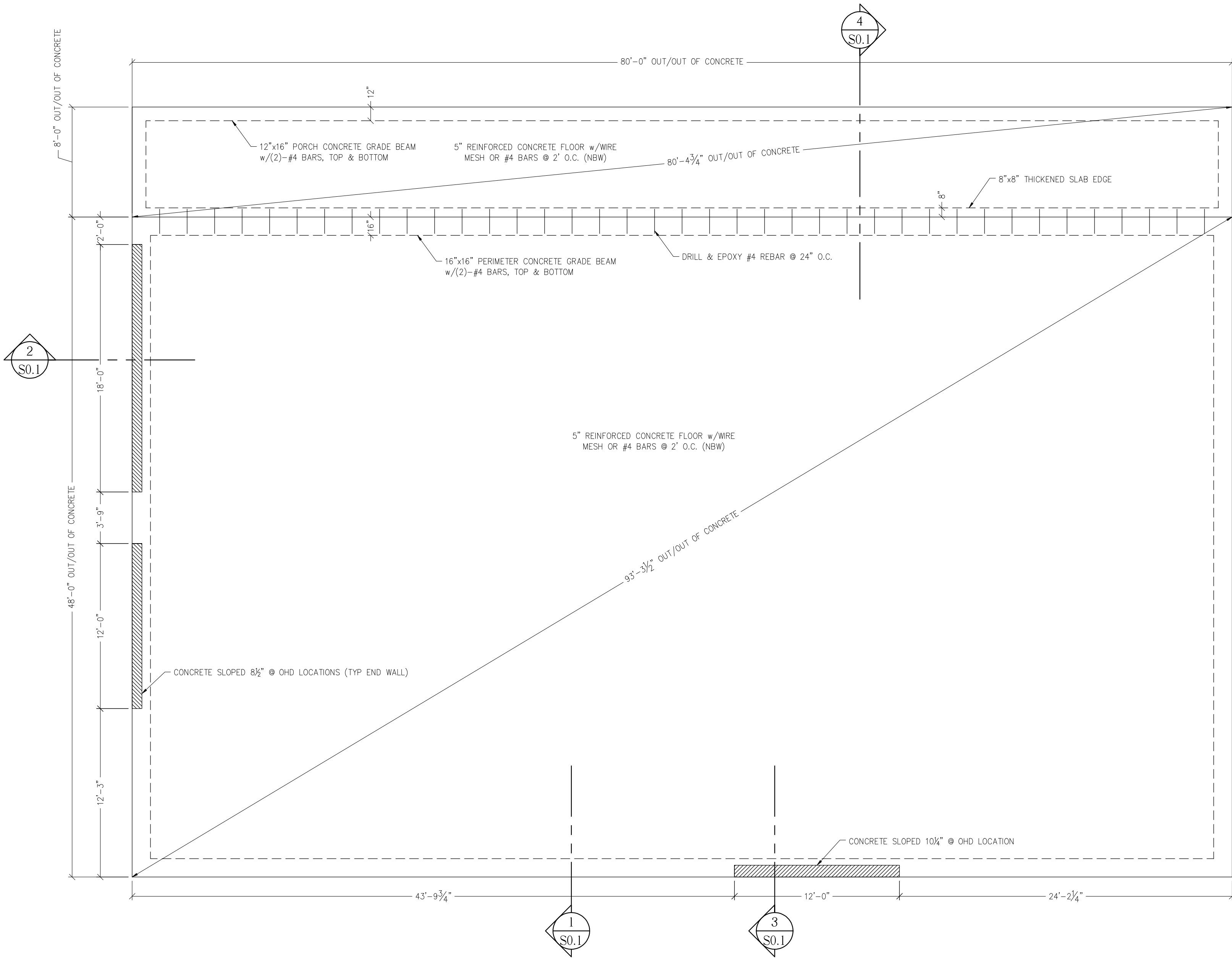
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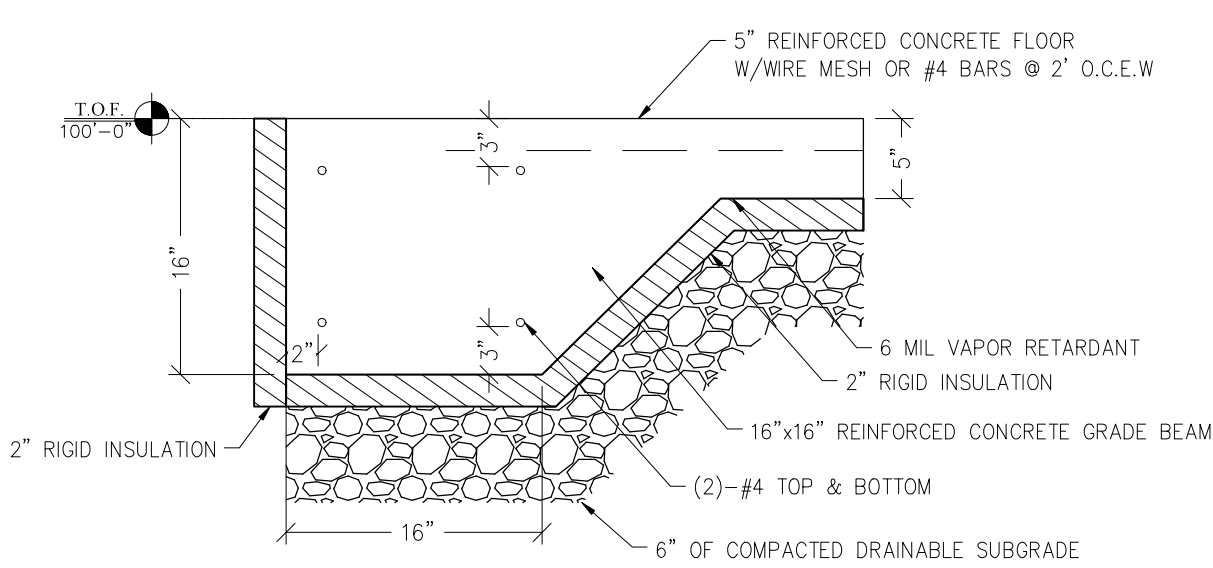
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CAYNEN KLESSIG

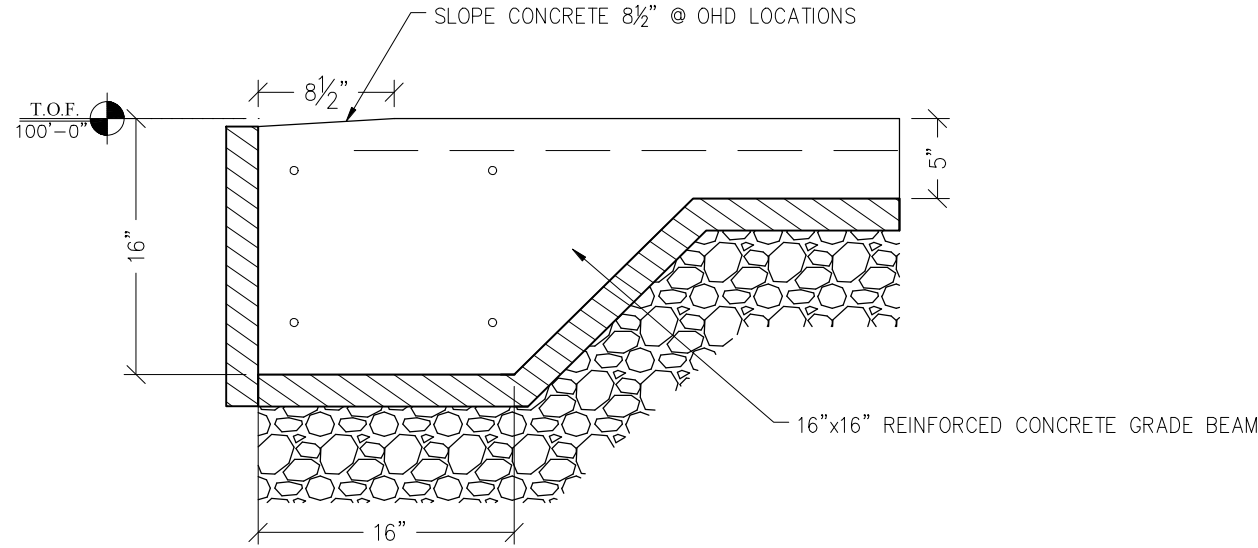
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SHEET NUMBER:

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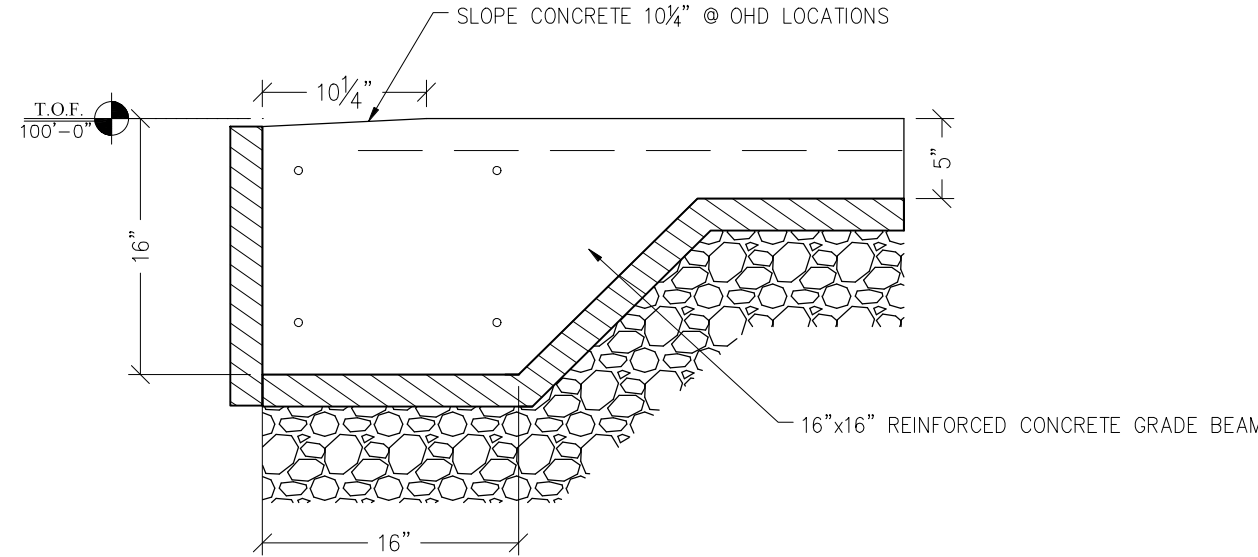


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S0.1 SCALE: 1" = 1'-0"



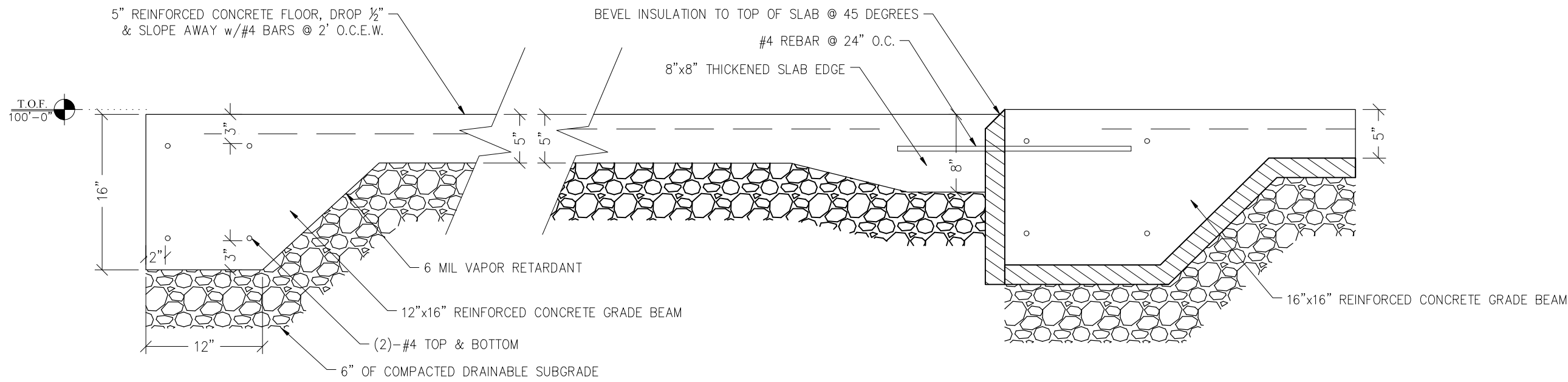
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S0.1 SCALE: 1" = 1'-0"

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EXCEPT FOR ITEMS NOTED



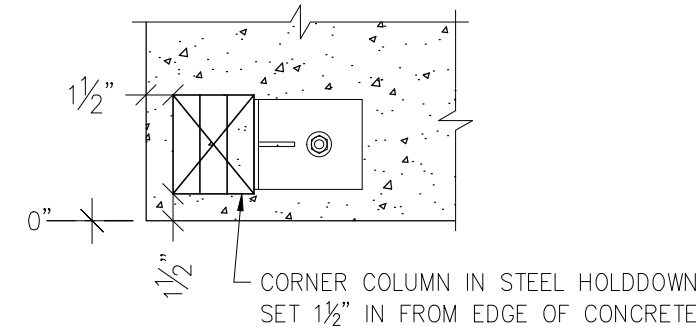
3 CONCRETE SECTION
S0.1 SCALE: 1" = 1'-0"

NOTE:
SAME AS SECTION 2/S0.1
EXCEPT FOR ITEMS NOTED



4 CONCRETE SECTION
S0.1 SCALE: 1" = 1'-0"

NOTE:
SAME AS SECTION 1/S0.1
EXCEPT FOR ITEMS NOTED



COLUMN SCHEDULE	
TAG	COLUMN TYPE
①	(3)-PLY 2x6 #2 SYP STP LAM COLUMN
②	(3)-PLY TREATED 2x6 #2 SYP STP LAM PORCH COLUMN
③	(3)-PLY 2x8 #1 SYP STP LAM COLUMN



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ENGINEER:

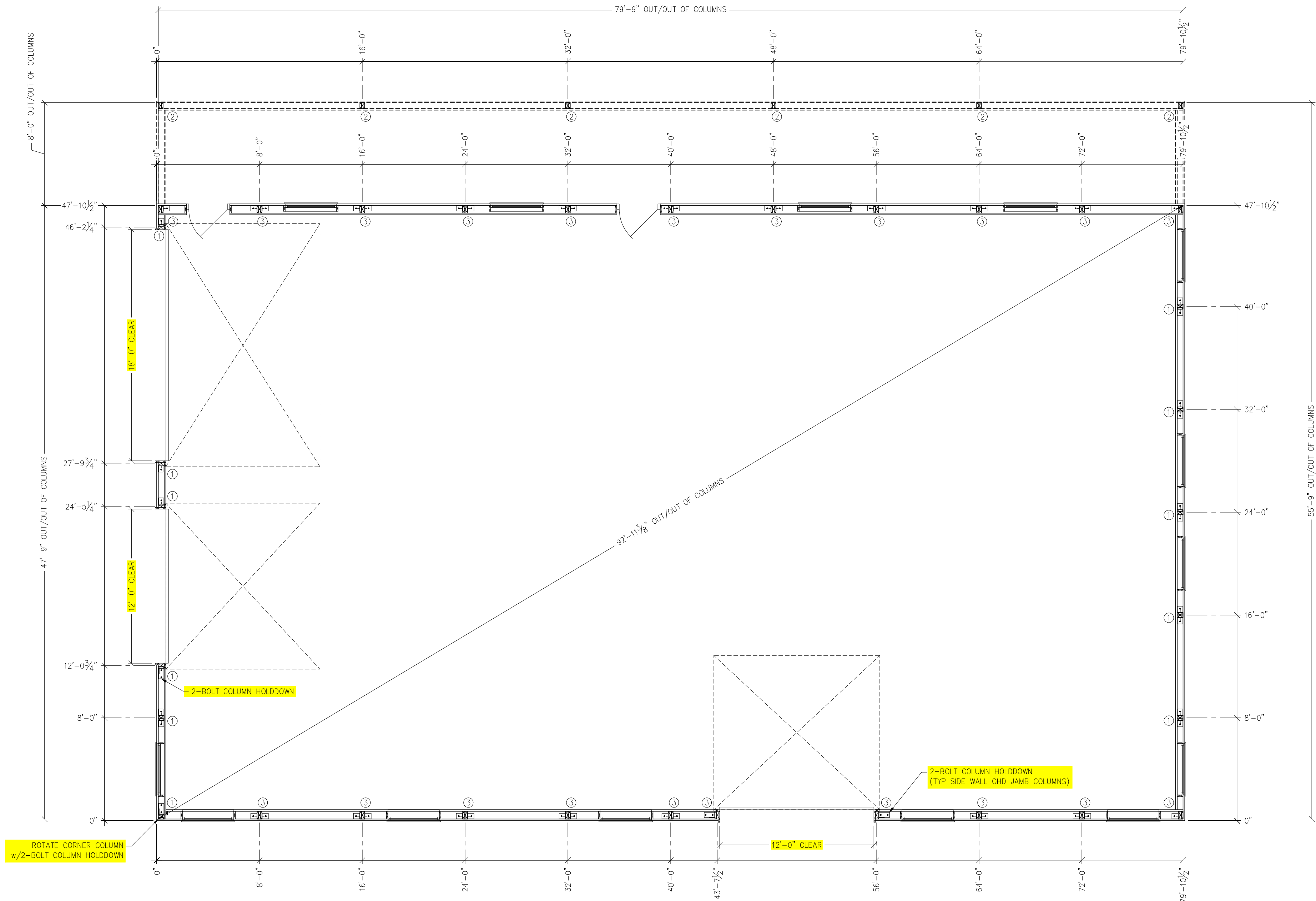
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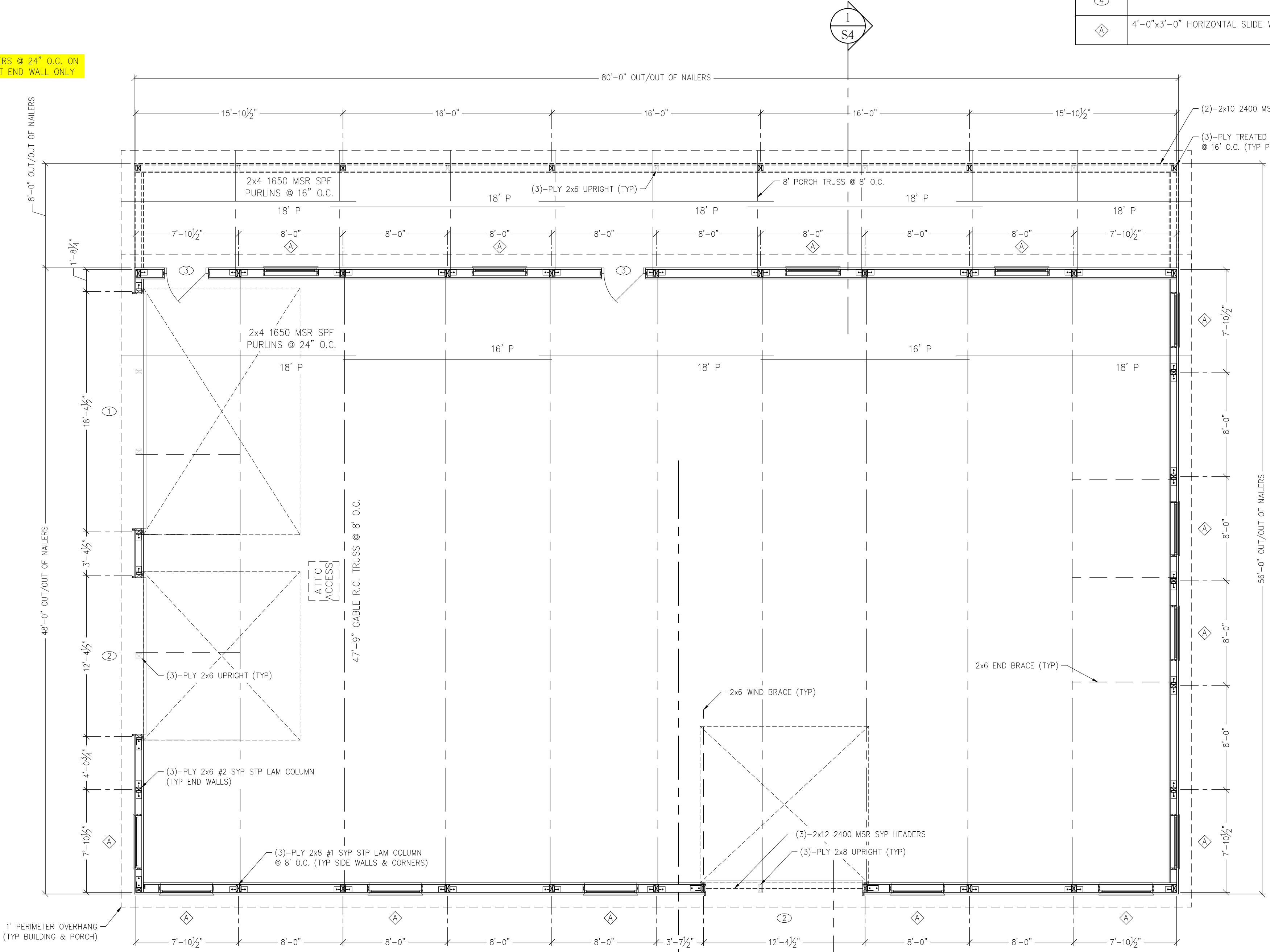
95-2154

SHEET NUMBER:

S1



NAILERS @ 24" O.C. ON WEST END WALL ONLY



DOOR & WINDOW SCHEDULE		
MAINTAIN LEVEL APPROACH TO ALL WALKDOORS *FIELD VERIFY ALL WINDOW SILL HEIGHTS* *SEE PAGE G1 FOR PLYCO ROUGH OPENING SIZES*		
TAG	TYPE	QUANTITY
①	18'-0"x12'-0" OVERHEAD DOOR OPENING	1
②	12'-0"x12'-0" OVERHEAD DOOR OPENING	2
③	3068 VUE-LITE COMMERCIAL PLYCO 20 SERIES w/LEVER LOCK SET	2
④	3068 INTERIOR WALK DOOR	4
△	4'-0"x3'-0" HORIZONTAL SLIDE WINDOW	15

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SCALE:

AS NOTED

ENGINEER:

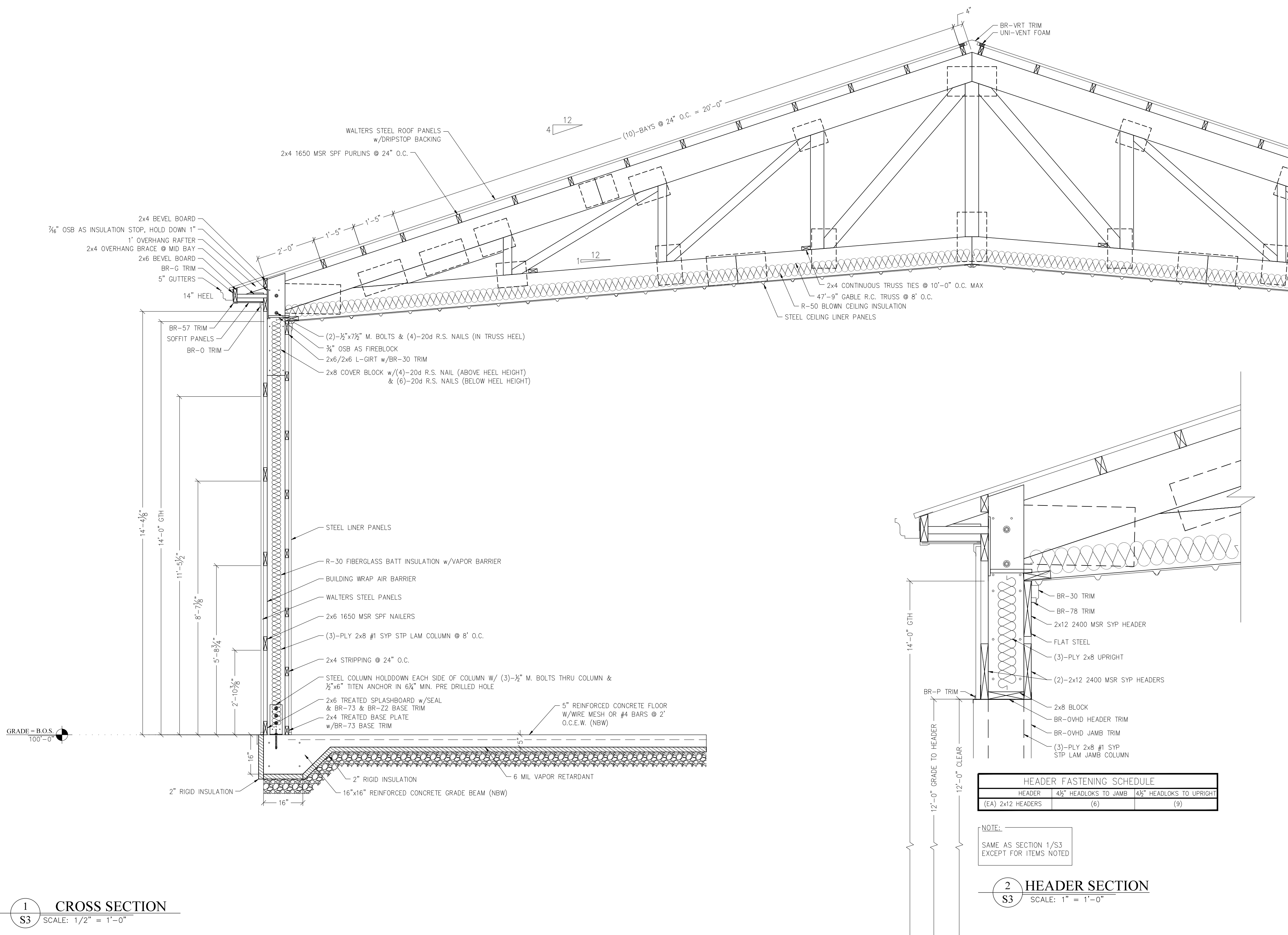
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SHEET NUMBER:

S3





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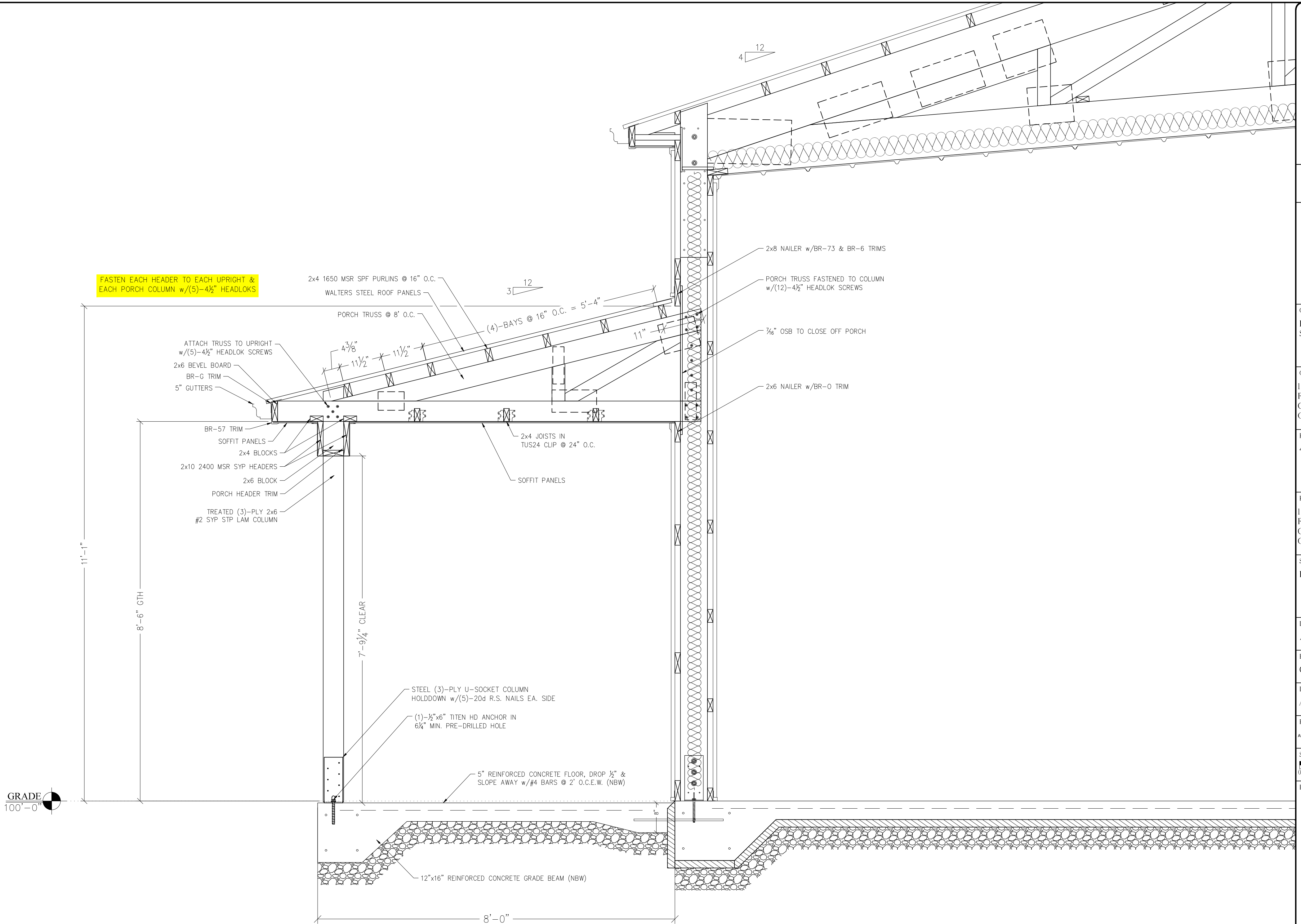
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0 6 1

ENGINEER:
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S4



NOTE:
SAME AS SECTION 1/S3
EXCEPT FOR ITEMS NOTED

1
S4 PORCH SECTION
SCALE: 3/4" = 1'-0"



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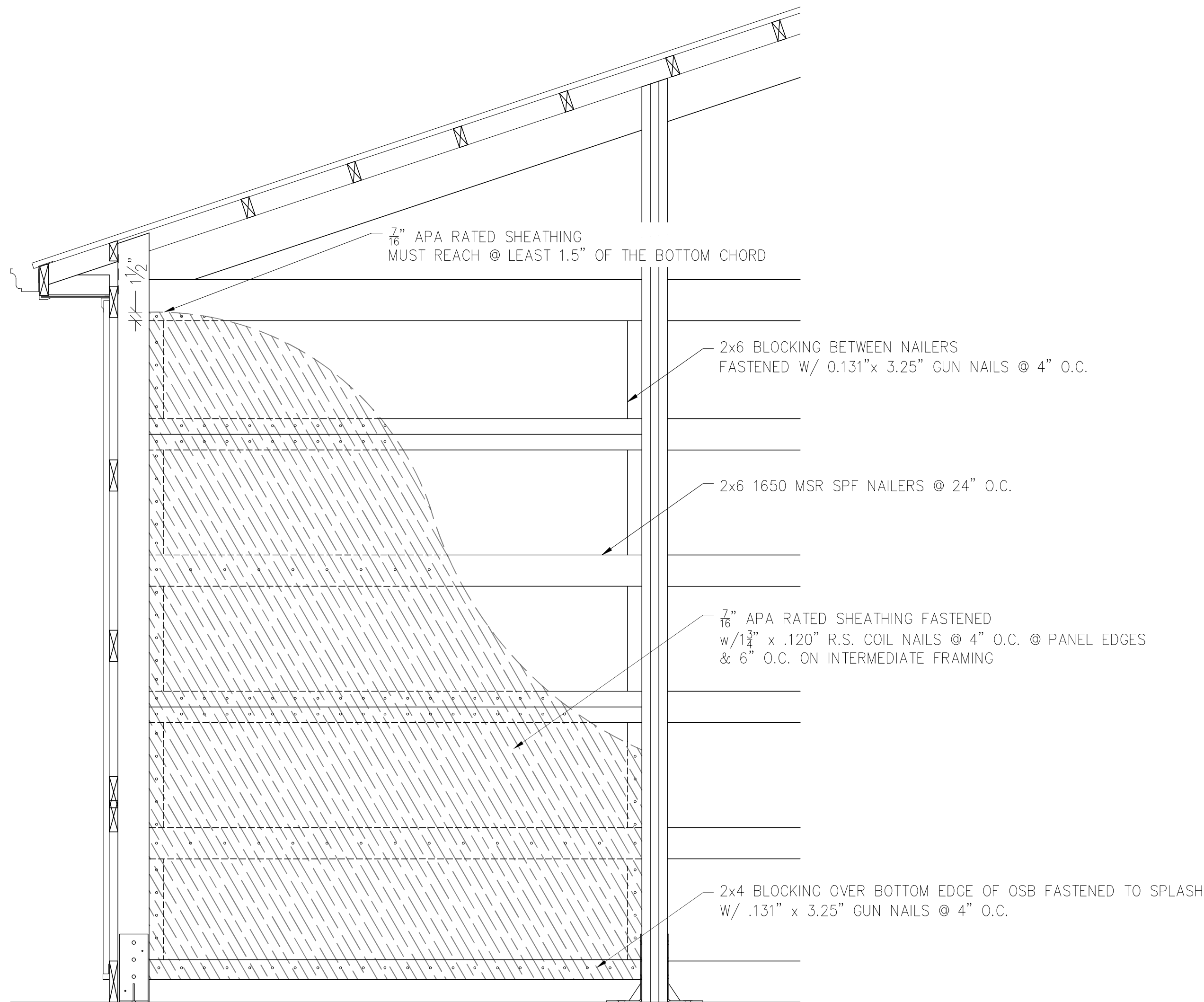
SCALE: 3/4" = 1'-0"
0 6 1

ENGINEER:
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S5



7/16" APA RATED SHEATHING FASTENED
w/ 1 3/4" x .120" R.S. COIL NAILS @ 4" O.C. @ PANEL EDGES
& 6" O.C. ON INTERMEDIATE FRAMING

2x6 1650 MSR SPF NAILERS @ 24" O.C.

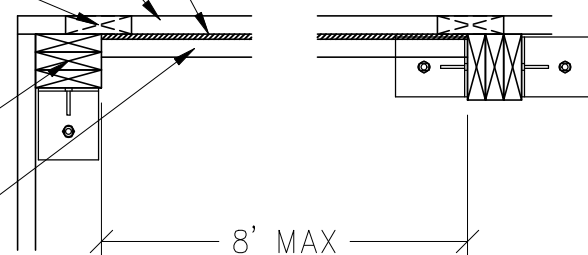
2x6 BLOCKING BETWEEN NAILERS
FASTENED W/ 0.131"x 3.25" GUN NAILS @ 4" O.C.

(3)-PLY 2x6 #2 SYP STP LAM COLUMN

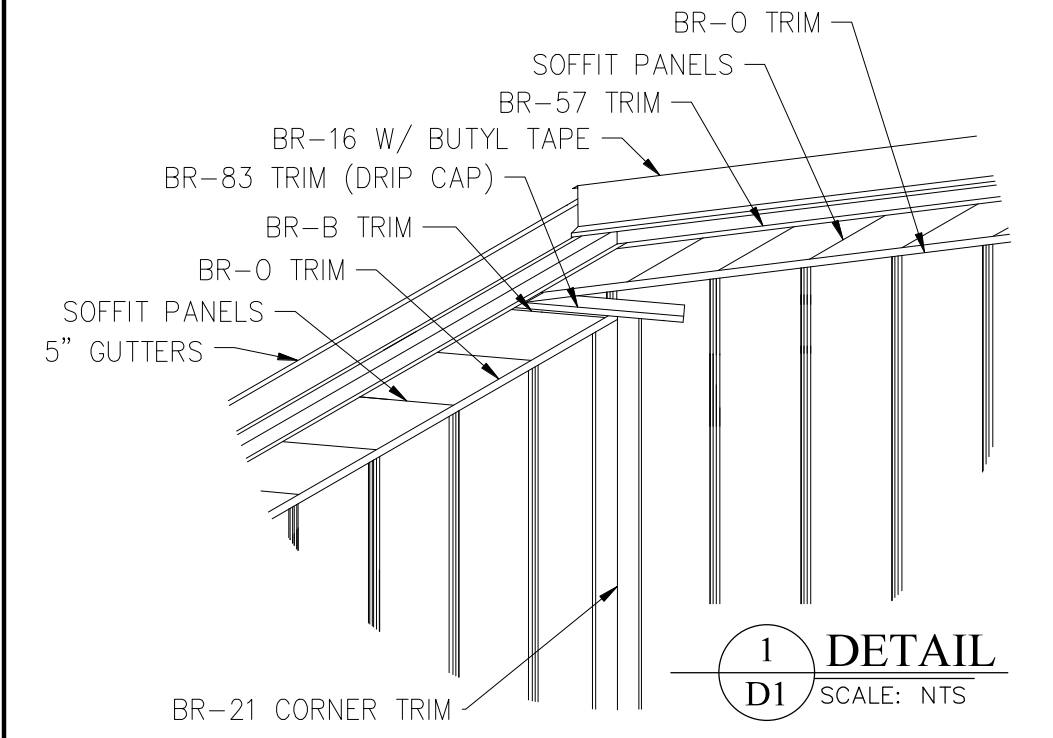
2x4 BLOCKING OVER BOTTOM EDGE
OF OSB FASTENED TO SPLASH
W/ .131" x 3.25" GUN NAILS @ 4" O.C.

1 SHEARWALL (TYP)

S5 SCALE: 1/2" = 1'-0"

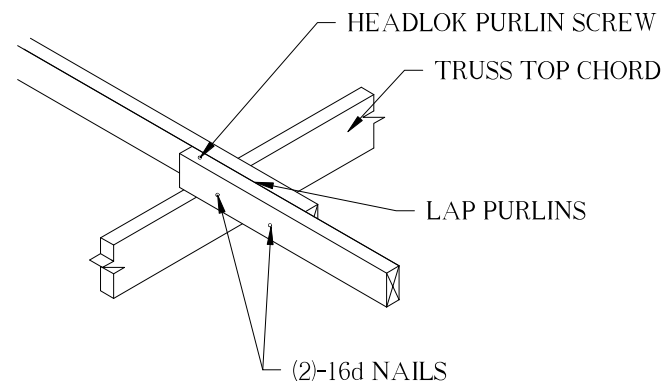


STANDARD TRIM DETAILS



1
D1
DETAIL
SCALE: NTS

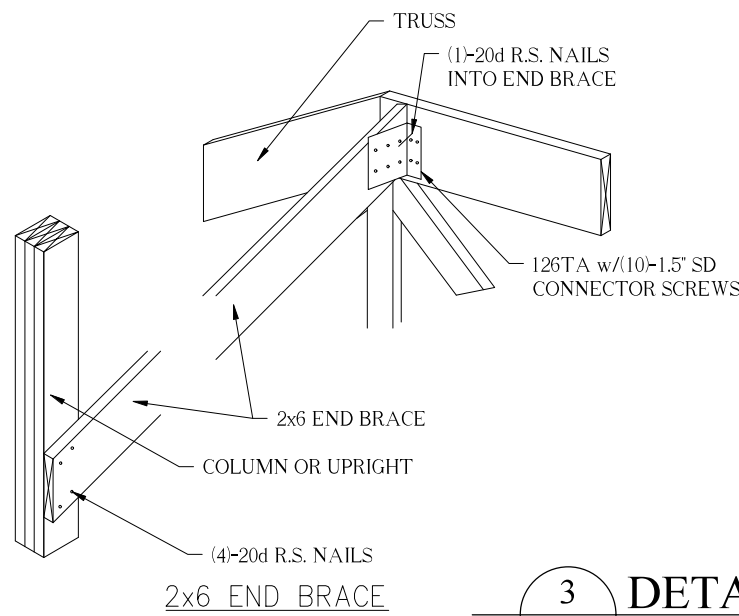
STANDARD FRAMING
DETAILS



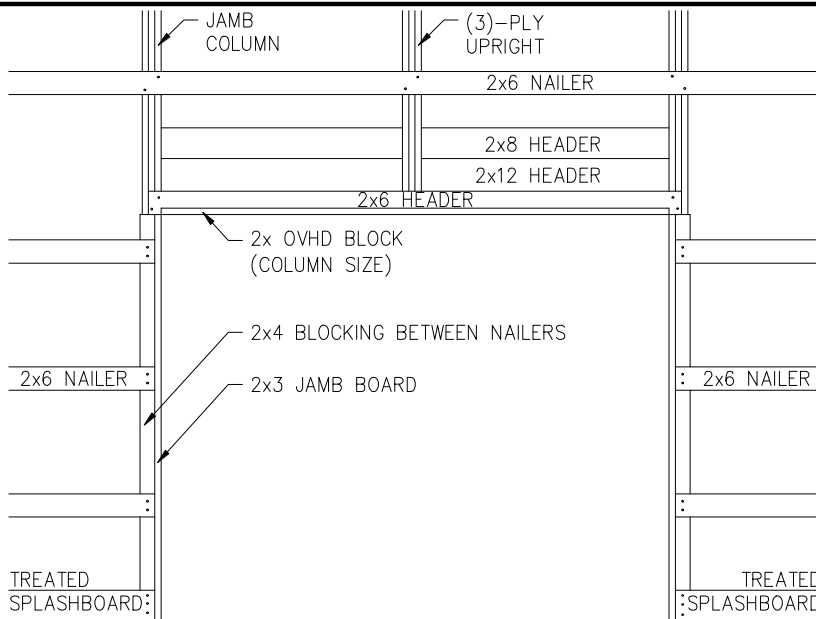
PURLIN LAP

2
D1
DETAIL
SCALE: NTS

STANDARD BRACING
DETAILS

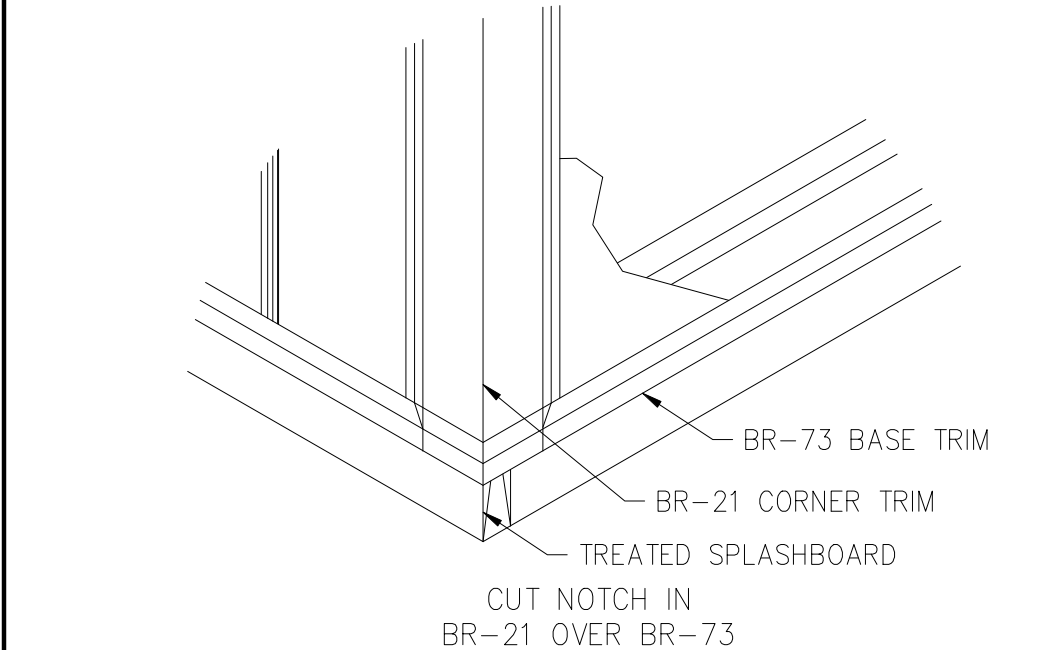


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D1
DETAIL
SCALE: NTS

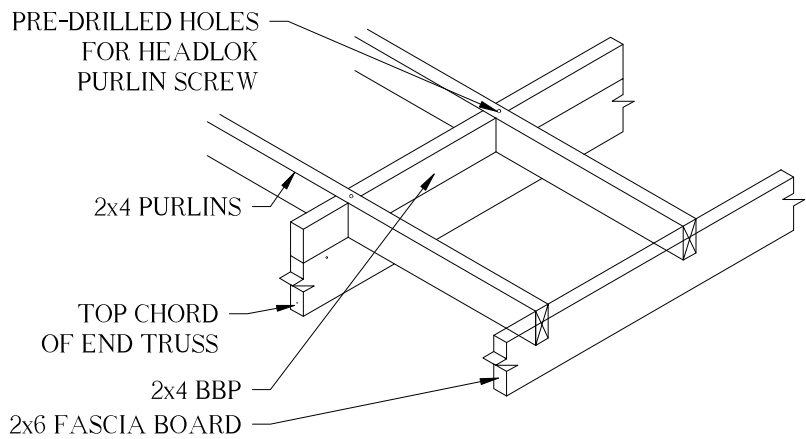


TYPICAL OHD FRAMING @ ENDWALL LOCATIONS
(If Applicable)

4
D1
DETAIL
SCALE: NTS

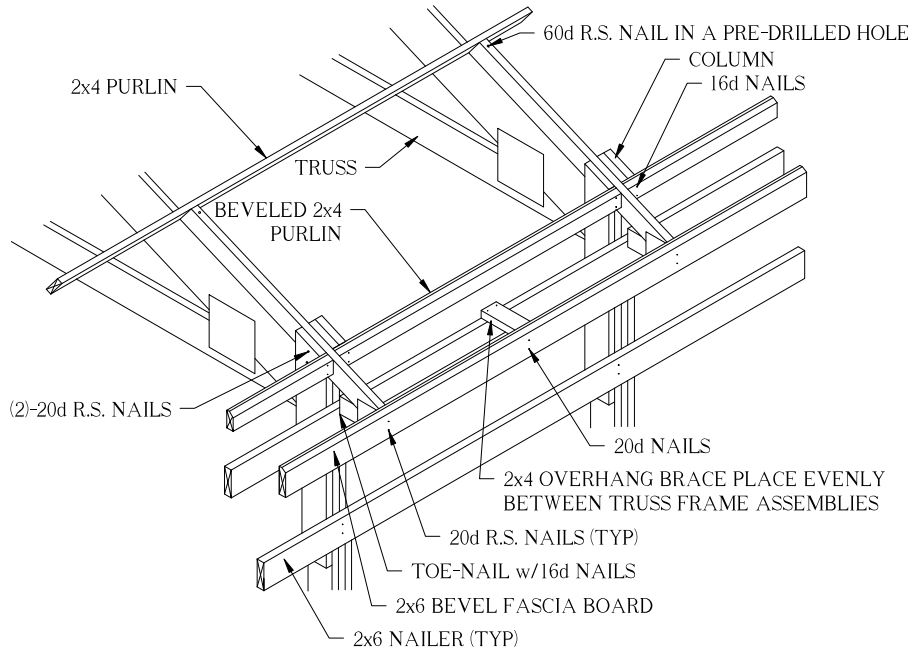


5
D1
DETAIL
SCALE: NTS



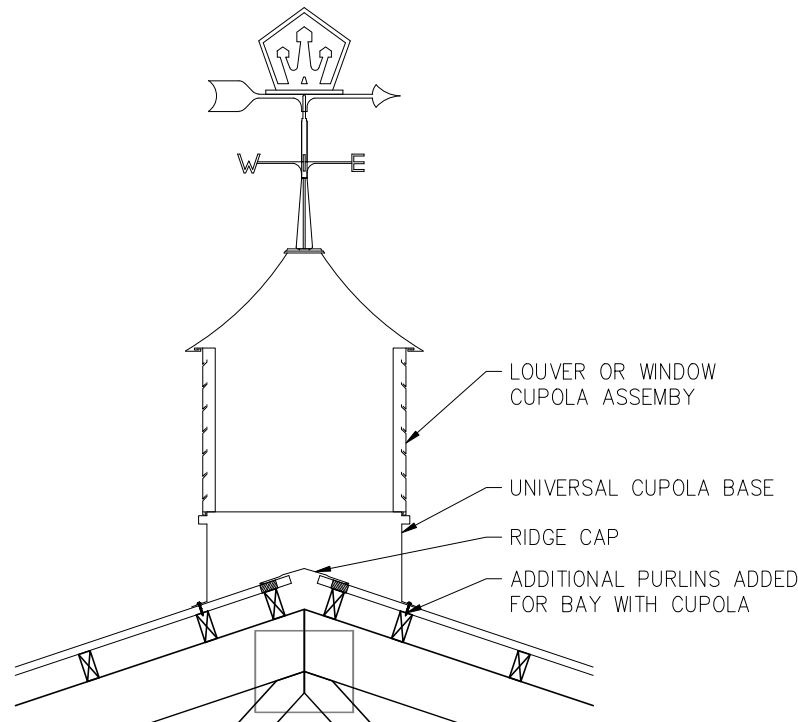
END PURLINS WITH OVERHANG

6
D1
DETAIL
SCALE: NTS

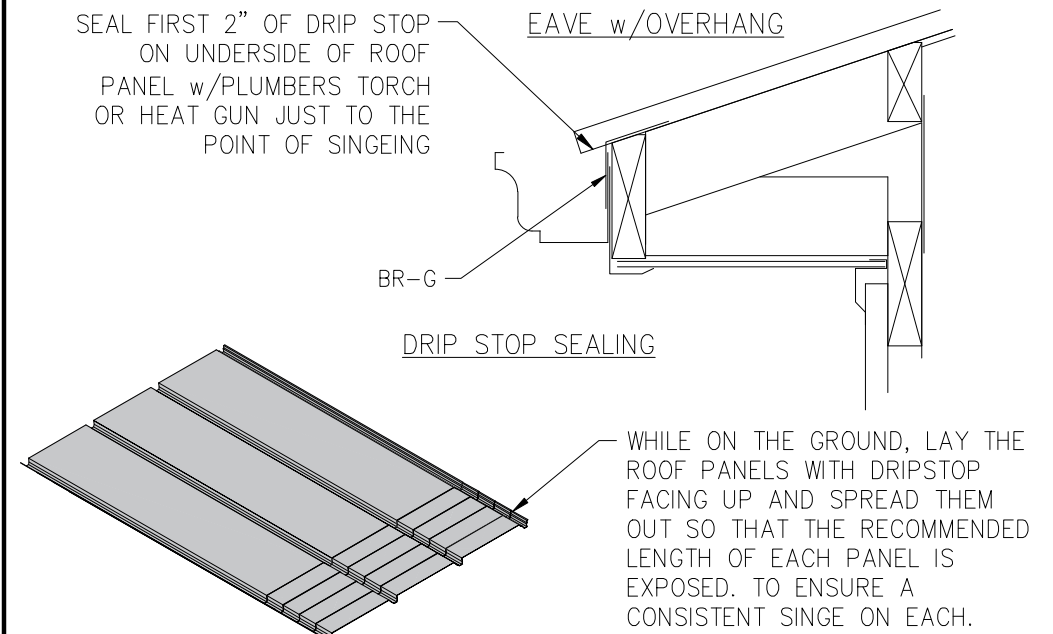


OVERHANG RAFTER FRAMING

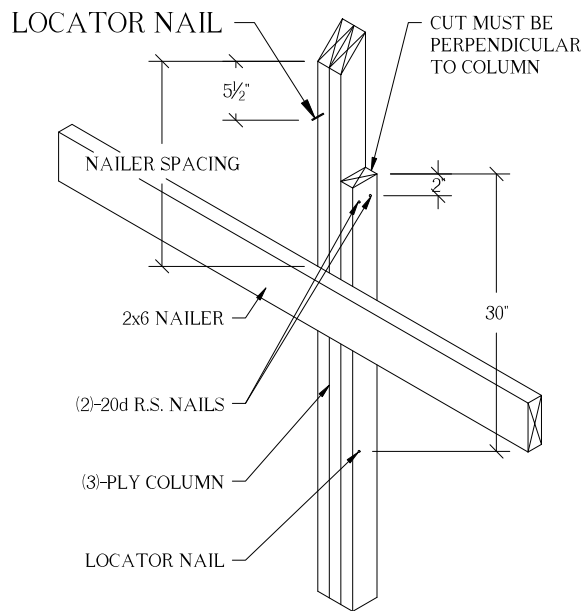
7
D1
DETAIL
SCALE: NTS



8
D1
DETAIL
SCALE: NTS

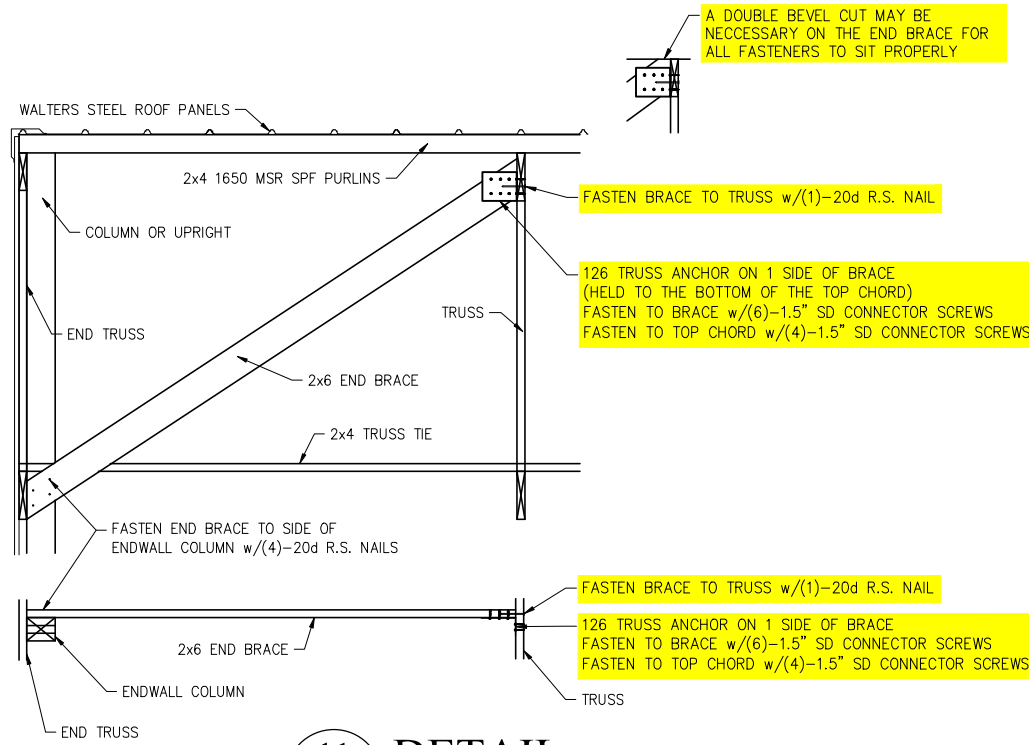


9
D1
DETAIL
SCALE: NTS

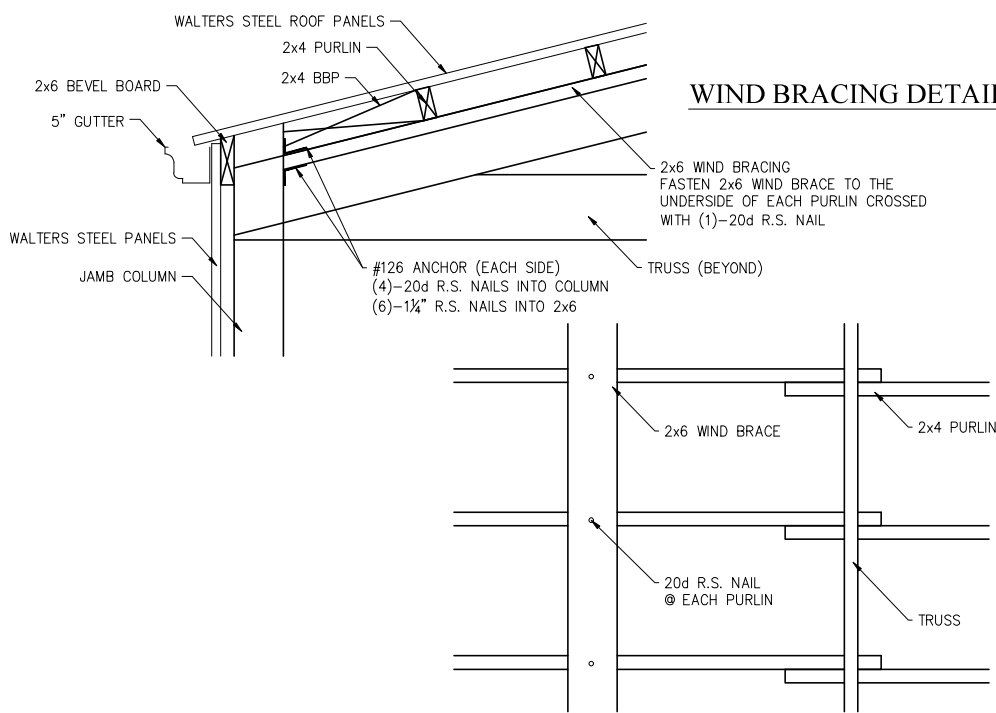


TRUSS TO COLUMN
1 PLY TRUSS - 3 PLY COLUMN

10
D1
DETAIL
SCALE: NTS



11
D1
DETAIL
SCALE: NTS



12
D1
DETAIL
SCALE: NTS

ADDITIONAL DETAILS

13
D1
DETAIL
SCALE: NTS

14
D1
DETAIL
SCALE: NTS

15
D1
DETAIL
SCALE: NTS

16
D1
DETAIL
SCALE: NTS


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Meeting Date: 2/18/2026
Agenda Item: # 5d

PLAN COMMISSION MEETING MEMORANDUM

TO: David Salvaggio, Chairman
Plan Commission, Town Board
FROM: Paul Jungbauer, Director of Parks & Recreation
MEMO WRITTEN: February 13, 2026
SUBJECT: Agenda Item #5d: Discussion and direction to staff on updating the Town's ordinance and process pertaining to temporary and off-premises signage*

BACKGROUND

As a result of input from a resident regarding temporary signage, the Town Board discussed temporary banners for non-profits and special events to be placed on the Town-owned property just south of Town Hall at their October meeting. The Board decided signage for Town programming and Fire Department events was the limit for what would be allowed on Town property. The Board directed staff to review surrounding communities to compare our ordinance for temporary signs/banners/off-premises signs. The item tabled was at the November Board meeting due to meeting duration. At their January 7th meeting, a summary of the findings was discussed, and resulted in the Board directing staff to present this to Plan Commission to consider updates for temporary and off-premises signage to clarify permitting and enforcement of these signs, as well as bring them more in line with neighbors, so the current permitting process can be clearly communicated to the community.

CURRENT ORDINANCES TO CONSIDER

Town Code requires a sign permit from the Town of Cedarburg and making payment of required fees, following review by Building Inspector. There is no fee for banners currently. Below are sections of Town Code that are relevant to this conversation.

DEFINITIONS TO CONSIDER **OFF-PREMISES SIGN**

Any sign that advertises, calls attention to or identifies an occupant, business or property situated on a different lot than the sign.

DIRECTIONAL SIGN

A sign for the purpose of directing patrons or attendants to a commercial establishment off the main traveled highway, or to service clubs, churches, schools or other nonprofit organizations. Also, signs solely indicating ingress and egress placed at driveway locations, containing no advertising material, and where the display area does not exceed three square feet or extend higher than five feet above the mean center-line street grade.

§ 320-83 Prohibited signs.

H. Billboards and **off-premises** signs, except Town Board-approved **temporary off-premises** signs to identify businesses during road construction and **off-premises seasonal signs** pursuant to §320-88E. Official Town bulletin boards are also allowed **off premises**.

§ 320-84 Exemptions.

(3) Grand opening signs and **banners**. The following signs are allowed for business uses only.

- (a) Grand opening signs. One grand opening sign not exceeding 48 square feet may be displayed for a maximum of 60 days.
- (b) **Horizontal banners**. A horizontal banner may be allowed subject to the following:
 - [1] Banner size is limited to 5% of store frontage, up to 60 square feet maximum.
 - [2] Banners may not be displayed for more than 30 consecutive days.
 - [3] Individual businesses may be limited to 12 banner events a year.

[4] There may be no more than one horizontal banner erected per site at one time unless the site is located on a corner lot or the lot has multiple road frontages. In this case, one horizontal banner for each side of the site abutting the road will be permitted, with size limits as described in Subsection **B(3)(b)**.

[5] The owner of property displaying any banner shall be required to properly maintain the appearance of all parts and supports of the sign as directed by the Town. In the event that the banner is not properly maintained, it is subject to removal as provided in § **320-91B**.

(c) Feather banners. Feather banners may be allowed subject to the following:

[1] Feather banner size is limited to 30 square feet each.

[2] The number of feather banners is limited to no more than five feather banners per property; if the property has one horizontal banner allowed per Town Code, then the property is limited to no more than four feather banners at the same time. If the property has two horizontal banners allowed per Town Code, then the property is limited to no more than three feather banners at the same time.

[3] Feather banners may be placed up to the property line subject to meeting setback requirements with other applicable jurisdictions.

[4] There is no time limitation for displaying feather banners subject to conformance with this subsection.

§ 320-87 Location standards.

A. In any zoning district, no sign or sign supporting structure shall be set back/offset less than **10 feet from any abutting lot line and/or right-of-way** unless otherwise specified in this article.

B. Placement of all signs shall be subject to the vision setback regulations as set forth in the Town of Cedarburg Code and formally approved by the Director of Public Works or his/her designee.

C. No sign in a nonresidential zoning district shall be located closer than 50 feet to an abutting residential zone.

§ 320-88 Permitted signs.

D. Seasonal sign. "Seasonal sign" shall be defined as any sign meeting the criteria below and referring to agricultural activities. Seasonal signs may be on-premises or **off-premises directional signs** for the purpose of announcement of an agricultural seasonal event and may be permitted for a limited period of time in any district in accordance with § 320-80 of this article and subject to the following:

(1) A sign permit application shall be submitted to the Building Inspector for approval, showing the specific design, appearance and location of the sign and meeting other application criteria as stated in § 320-80. The Building Inspector may require the application be reviewed by the Town Board upon recommendation of the Plan Commission based upon the character of the area, the type and purpose of sign and the length of time permitted.

(2) Where the sign is to be located on the premises involved, such sign may be permitted for a period up to six months.

(3) Where the sign is not to be located on the premises involved, such sign may be permitted for a period not to exceed four months.

(4) In no case shall seasonal signs be greater than four feet in height above road level or greater than 16 square feet.

(5) Seasonal signs shall not be posted on any signs or posts owned by any government entity or utility.

(6) Seasonal signs shall be located off of the public right-of-way. Signs classified as a public nuisance or a threat to public safety by the Building Inspector or other public official shall be removed as required under § 320-93 of this article with the approval of the Town Administrator.

(7) Seasonal advertising vehicles shall be defined as signs placed on or affixed to farm implements which are parked on private property where the apparent purpose is to advertise a seasonal agricultural product or direct people to a seasonal agricultural business or activity. Vehicles with signage advertising activities other than seasonal agricultural activities are regulated under § 320-83.

CONSIDERATIONS

Staff requests the Plan Commission review the current Town ordinances against the attached comparison analysis on surrounding communities for temporary and off-premises signage. Staff would like the Commission to consider direction on the list of items below; staff would then draft an ordinance update accordingly for Plan Commission review.

Off-Premises signage:

- Should they be allowed? If so, staff recommends permitting them for code compliance and fairness to community members.
- If allowed, should they count toward one of the property's allowed temporary signage events for the year? For example, a non-profit wanting to use a STH 60 property for a fundraising event.
- Clarifying this will allow for cleaning up the code in terms of off-premises and directional signage terminology.

Permitting:

- Consider establishing a fee for temporary banners and off-premises signs so the Building Inspector review cost is covered. Town staff could verify proper install to reduce Inspector time on the permit.
- Recommend adding enforcement authority to the Constable as well as the Building Inspector for timeliness on complaints. The Board approved an ordinance on February 4th updating language on code enforcement for many other topics to bring it current with Town staffing. Tracking of permitting would be completed by Clerk staff.
- Discuss the number of temporary sign permits per year and permit cost and length the signs can be displayed.

NEXT STEPS

1. Staff would draft an ordinance update based upon Plan Commission feedback.
2. Plan Commission reviews draft ordinance, with potential recommendation to the Town Board.
3. Required public notice would be completed following a Plan Commission recommendation.
4. Town Board public hearing and potential action.

ACTION REQUESTED

Staff requests the Commission provide direction on temporary and off-site signage.

ATTACHMENTS

- I. Removal of Signs Code Section
- II. Municipal Temporary Sign Comparison Chart

ATTACHMENT I.

§ 320-91 Maintenance and removal of signs.

The Town may cause any sign or other advertising structure which is, in its opinion, an immediate peril to persons or property to be removed summarily and without notice.

A. Appearance requirements.

- (1) The owner of any sign as defined and regulated by this article shall be required to properly maintain the appearance of all parts and supports of the sign as directed by the Town.
- (2) In the event that the sign owner does not provide proper sign maintenance within 60 days after written notification from the Town, the sign may be removed as provided in Subsection B.

B. Removal of certain signs and billboards.

- (1) Any sign, now or hereafter existing, which no longer advertises a bona fide business or product, or which is dilapidated, out of repair, unsafe, or insecure, or has been constructed, erected or maintained in violation of the provisions of this article, shall be taken down and removed by the owner, agent, or person having the beneficial use of the building or land upon which such sign may be found. If within 10 days after written notification from the Town the sign owner fails to comply with such notice the Town may remove such sign. Any cost or expense incident thereto shall be paid by the owner of the building or land to which such sign is attached. In the event such costs and expenses are not paid within 30 days from the date of billing, then the costs and expenses incurred for such removal shall be assessed against the real estate upon which such sign is located and collected as other taxes are collected on said real estate.
- (2) Any sign which is constructed without proper approval and permit shall be removed or proper permit obtained within five days of notice to the owner by the Town. In the event that the owner of such sign is not issued a proper permit or fails to remove said sign, the Town may remove such sign. Any cost or expense incident thereto shall be paid by the owner of the building or land to which such sign is attached. In the event such cost and expenses are not paid within 10 days from the date of billing, then the costs and expenses incurred for such removal shall be assessed against the real estate upon which such sign is located and collected as other taxes are collected on said real estate.
- (3) In the event that the owner of an illegal sign cannot be ascertained by the Town, then notice as indicated in Subsection B(2) shall be given to the owner of the real estate upon which the sign is located. In the event that the owner of the real estate does not obtain a proper permit or does not remove the sign within 10 days of notice from the Town, then such sign may be removed by the Town. Any expense incident thereto shall be paid by the owner of the building or land to which such sign is attached. In the event such cost and expenses are not paid within 10 days from the date of billing, then the costs and expenses incurred for such removal shall be assessed against the real estate upon which such sign is located and collected as other taxes are collected on said real estate.
- (4) If a permit is denied, the Town shall issue a five-day removal notice. If the sign is not removed within the five-day period, the sign may be removed by the Town of Cedarburg. Any expense incident thereto shall be paid by the owner of the building or land to which such sign is attached. In the event such cost and expenses are not paid within 10 days from the date of billing, then the costs and expenses incurred for such removal shall be assessed against the real estate upon which such sign is located and collected as other taxes are collected on said real estate.
- (5) The cost of removing any signs located in the road right-of-way at the time the road is widened shall be paid by the sign owner.

MUNICIPALITY	QUESTIONS	ANSWERS
Cedarburg (Town)	Allow Temporary Signs/Banners	YES
	# of Temporary Signs/Banners Allowed	One banner allowed; two if the site is located on a corner lot. Feather banners are allowed: up to five feather banners per property; if the property has one horizontal banner allowed per Town Code, then the property is limited to no more than four feather banners at the same time. If the property has two horizontal banners allowed per Town Code, then the property is limited to no more than three feather banners at the same time.
	Maximum Size of Temporary Sign/Banner	Banners: 5% of store frontage, up to 60 square feet maximum. Feather banner size is limited to 30 square feet each.
	Maximum Time a Temporary Sign/Banner Can Be Displayed	Banners: 30 days per event. Up to 12 events per year. There is no time limitation for displaying feather banners.
	Permit Required for Displaying a Temporary Sign/Banner	Yes. There is currently no fee for a temporary or feather banner.
	Location	Banners: Not in the right of way, and the location relative to the lot line should be discussed. Feather banners may be placed up to the property line subject to meeting setback requirements with other applicable jurisdictions.
Cedarburg (City)	Allow Temporary Signs/Banners	YES
	# of Temporary Signs/Banners Allowed	A maximum of three temporary sign permits per year are allowed.
	Maximum Size of Temporary Sign/Banner	Maximum size varies based on the type of sign/banner.
	Maximum Time a Temporary Sign/Banner Can Be Displayed	30 days at a time with 90 days maximum per year. If the banner is left up past expiration, Inspector removes sign.
	Permit Required for Displaying a Temporary Sign/Banner	YES- A permit is required for all signs/banners. The fee is \$35 per sign.
	Are Off-Premises Signs or Banners Allowed?	Off Premise signs are prohibited.

Grafton (Village)	Allow Temporary Signs/Banners	YES- With many restrictions
	# of Temporary Signs/Banners Allowed	* One temporary inflatable, flag or feather sign per business or event. (Cannot be permanent) * Any sign which is not permanently fastened, anchored on a permanent foundation or painted on another structure shall be considered prohibited. This includes portable signs. * One sign or banner advertising for a public, civic or social event, of a charitable or not for profit organization.
	Maximum Size of Temporary Sign/Banner	Size not specified
	Maximum Time a Temporary Sign/Banner Can Be Displayed	Signs or banners advertising for a public, civic or social event, of a charitable or not for profit organization, cannot be placed more than 14 days prior to the event and shall be removed within five days after the event.
	Permit Required for Displaying a Temporary Sign/Banner	YES- The fee is waived for any nonprofit, religious, or government event held in the Village of Grafton. The cost of a temporary sign permit application is \$50
	Are Off-Premises Signs or Banners Allowed?	Off Premise signs are prohibited.

MUNICIPALITY	QUESTIONS	ANSWERS
Lisbon (Village)	Allow Temporary Signs/Banners	Yes.
	# of Temporary Signs/Banners Allowed	One temporary A-frame, Banner, Feather Sign, or Roadside Sign is allowed
	Maximum Size of Temporary Sign/Banner	The maximum size of the temporary sign varies based on the type of sign.
	Maximum Time a Temporary Sign/Banner Can Be Displayed	* A frame signs are allowed only during business hours. The permit is for a 12 month period before having to re-apply for the permit. * A banner may only be displayed for up to three weeks, and up to four times per year. * A feather sign may only be placed for up to two weeks and limited to three time per 12 month period.
	Permit Required for Displaying a Temporary Sign/Banner	Yes a permit is required. A fee was not specified for temporary signs.
	Are Off-Premises Signs or Banners Allowed?	Off Premise signs are prohibited.

Saukville (Village)	Allow Temporary Signs/Banners	YES
	# of Temporary Signs/Banners Allowed	No more than one portable sign is allowed.
	Maximum Size of Temporary Sign/Banner	May not exceed 36 square feet.
	Maximum Time a Temporary Sign/Banner Can Be Displayed	Less than 90 days.
	Permit Required for Displaying a Temporary Sign/Banner	Yes a permit is required. No fee for temporary signs.
	Are Off-Premises Signs or Banners Allowed?	Yes- Billboards with a permit and only allowed in specific zoning districts.
Thiensville (Village) * Has a 33 page Sign Code document	Allow Temporary Signs/Banners	Yes. Must be ground mounted or wall mounted.
	# of Temporary Signs/Banners Allowed	No more than one temporary sign allowed.
	Maximum Size of Temporary Sign/Banner	The maximum size allowed varies by zoning and street location. Some areas may not exceed 20 square feet with a maximum height of 4 feet, while other have a maximum of 12 square feet with a maximum height of 4 feet.
	Maximum Time a Temporary Sign/Banner Can Be Displayed	30 days in a calendar quarter, not to exceed 90 days total.
	Permit Required for Displaying a Temporary Sign/Banner	Yes. A fee is not specified for a temporary sign/banner.
	Are Off-Premises Signs or Banners Allowed?	Off-Premise Signs are prohibited in the Village of Thiensville except official and Village approved standardized institutional signs located in designated areas and approved by the Village Board, and for real estate signs as allowed under Section 16.18 A. and B.